
Gainsborough Greens

Precinct 5.2 - 5.5 Building Controls



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LEGEND

- Existing Casuarina Forest
- Existing Conservation Area
- Existing Ephemeral Wetland
- Existing Declared Waterway
- Existing & future rec. park
- Existing & future WSUD
- Precinct 5 Balance of Open Space Boundary
- Precinct 5 Boundary
- Existing Greenway Path 2.5m wide
- Existing Access Road (not owned by Mirvac)
- Existing Overland Flow Path

Context Plan

1.0 Introduction

PURPOSE

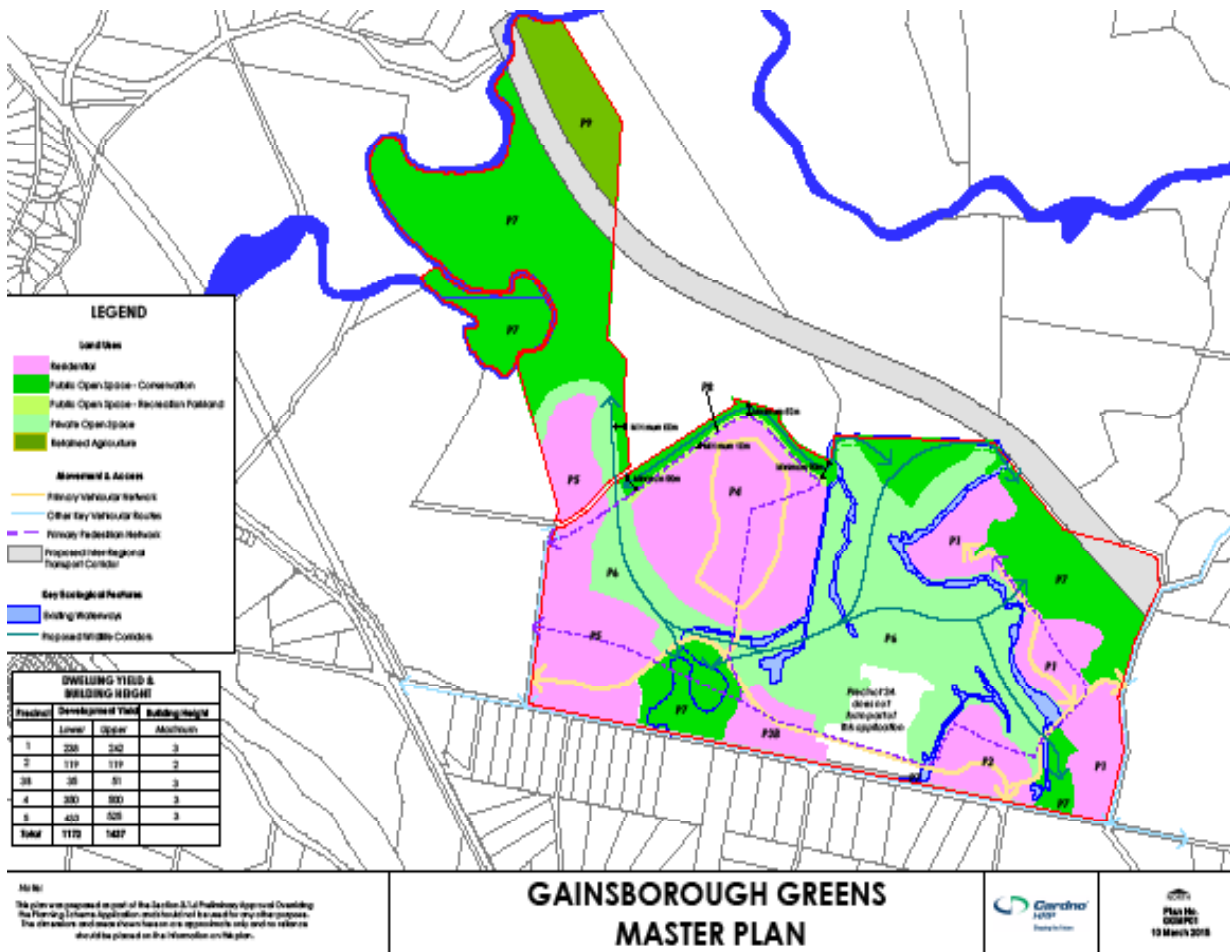
Pursuant to Condition 8 of the Section 3.1.6 Preliminary Approval, the Precinct 5.2 - 5.5 Building Controls has been prepared.

The purpose of this document is to establish a series of specific building controls relevant to the built form to be constructed within Precinct 5.2 - 5.5.

In conjunction with the approved Gainsborough Greens Master Plan and Place Code, the Precinct 5.2 - 5.5 Building Controls will act as a design and approval framework for future development.

GAINSBOROUGH GREENS MASTER PLAN

The development approved by the preliminary approval is to be completed within **15 years** of the date of the Preliminary Approval taking effect.



KEY URBAN DESIGN PRINCIPLES

1. Open Space Network



Throughout Precinct 5.2 - 5.5, private open space will be limited to residential lots. All remaining open space will be dedicated as either public open space or public roads.

The approved Gainsborough Greens Open Space Strategy (Gainsborough Greens OSS) defines six (6) categories of public open space proposed across the Gainsborough Greens development. Precinct 5.2 - 5.5 includes three (3) of these categories plus streetscape open space identified as an additional area of open space to be considered.

The different categories of public open space applicable to Precinct 5.2 - 5.5, include:

- > Recreation Park (1,808m²)
- > Recreation Linkages (58,686m²)
- > Streetscapes

Recreation Park Intent

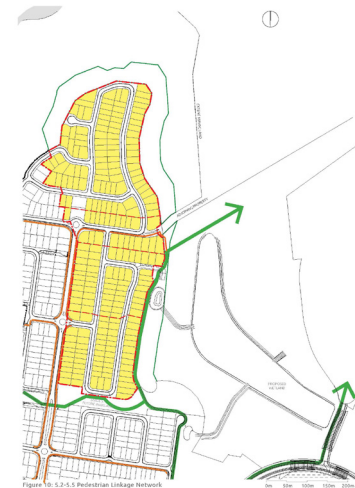
The proposed Recreation Park will be located directly at the northern end of Swan Road. This will establish a landmark at the road junction in the centre of the Precinct as well as provides a local park for residents living at the northern end of Precinct 5.2 - 5.5.

The Recreation Park will be designed to maximise recreational function within the parcel and minimise maintenance requirements by considering the following:

- meandering access path to slow pedestrians within the park and encourage interaction with the landscape;
- drought tolerant native plant species selection to avoid reliance on irrigation;
- feature street frontage to attract pedestrian attention and increase passive surveillance;
- clear sight lines to street frontage;
- mid-storey planting along 1,800mm high, 50% transparent

- side of lot fence to provide some privacy; and
- robust park furniture, structures and surfaces.

Recreation Linkage



The primary recreation pathway link through the whole of Gainsborough Greens is the "Greenway".

Typically, the "Greenway" will be accommodated within a 10 metre wide "Recreation Linkage" open space corridor, through proposed "Recreation Park" open space or within proposed road reserve. The pathway will be 2.5 metres in width to facilitate pedestrian and cycle movement.

Through Precinct 5, the "Greenway" will begin at the boundary of 5.1 park, extend from the south-eastern side of 5.2 travelling in a northern direction toward Yalata Street. From Yalata Street, it will head east and continue toward Precinct 4.

A secondary path network will meet the "Greenway" path at the Yalata Street junction and continue anti-clockwise along the boundary of Precinct 5.4 and 5.5, where it will eventually link up with the path network at Precinct 6.

2. Movement Network

Precinct 5.2 - 5.5 is connected into the wider Gainsborough Greens Masterplan area via Swan Road.

3. Built Form

Streets are seen not only as thoroughfares but also as public spaces. To define the scale and character of this Precinct, built form edges are essential elements of the streetscape. Within Precinct 5.2 - 5.5, a variety of built forms that frame the public realm is encouraged.

Creating active and safe public realm is important to a new urban neighbourhood, particularly in residential communities where opportunities for passive surveillance strengthen the feeling of community stewardship.

Placement of windows on the street frontage, the use of front porches and balconies and appropriate fencing are techniques that support these values.

Built form modulation further develops the streetscape, while garage setback also ensures that the garage does not become a dominant element within the streetscape.



3.0 Precinct 5.2 - 5.5

Building Controls *For Detached and Attached Dwellings*

3.1 BUILDING HEIGHT

- Dwelling heights of up to three (3) storeys are permitted.

3.2 BUILDING SETBACKS

- All building setbacks for all single and two (2) storey dwelling are to be in accordance with the **Precinct 5.2 - 5.5 Setback Tables** included as **Annexure A** of this document.
- For three (3) storey dwellings, the lower two levels are to be in accordance with the building setbacks stipulated in the **Precinct 5.2 - 5.5 Setback Tables**. The upper level (third storey) must be set back a minimum of 2.5 metres from all side or rear boundaries. The third storey must be set back 5.5m from any street frontage
- Setbacks are to be measured to the face of the dwelling wall (or face of garage door for garages).
- Permitted encroachments are permitted within the setback zone up to within 450mm off the property boundary (except for nominated built to boundary property boundaries where encroachments may extend up to the boundary).

Permitted Encroachments:

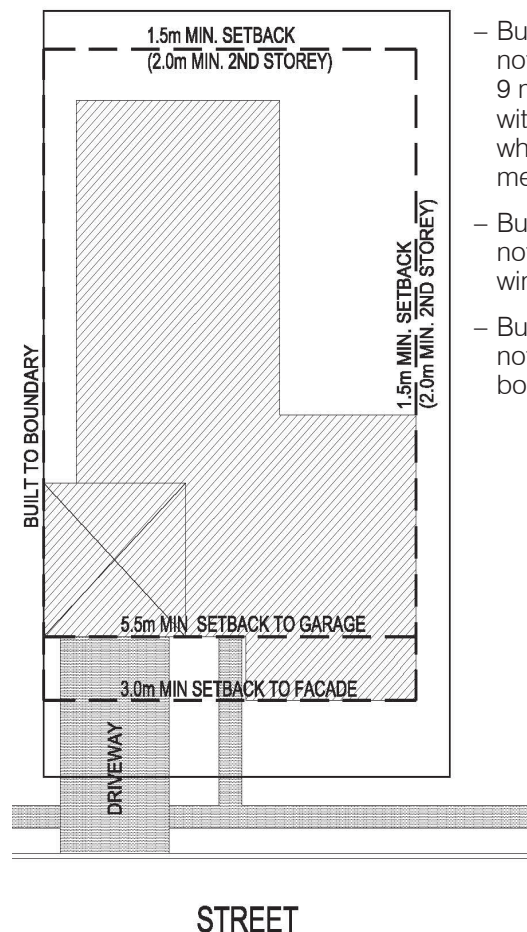
Include eaves, awnings, sun screens, privacy screens, architectural features such as gatehouses and pergolas (where not enclosed and not more than 2.4m high when proposed at the boundary).

Garden walls, fences and other landscape features are permitted within setback zones providing individual elements are not more than 2m in height.

- No bushfire buffer setback line in Precinct 5.2 - 5.5.
- **Duplex dwellings** may be attached or detached.

3.3 BUILT TO BOUNDARY WALLS

- All lot boundaries that permit a built to boundary wall are shown on the **Lot Typology Plans** included in **Annexure B** of this document.
- It is not mandatory to build to boundary.
- Second storey walls of built to boundary walls must be setback a minimum of 1 metre from the property boundary.
- Built to boundary walls must not extend for more than 9 metres on the boundary without a recess for 3 metres which must be a minimum 1 metre deep.
- Built to boundary walls must not have any openings or windows.
- Built to boundary walls must not encroach over the property boundary.



Precinct 5.2 - 5.5 - Typical Building Setbacks

3.4 SITE COVER

Lots 601m² or larger

A maximum coverage of 60% of the site area is permitted.

Lots 600m² or smaller

A maximum coverage of 60% of the site area is permitted and an additional 10% site cover is permitted for covered private open space.

Site coverage is to be measured to the face of the wall, except to garages which shall be measured to the face of the door. For covered private open space it shall be measured to the outer most projection of the roof structure.

Site coverage calculations are to exclude unroofed stairs and ramps, window hoods, unroofed pergolas and golf buggy parking.

3.5 CAR PARKING

Maximum two (2) car garage width i.e. additional car spaces may be provided through the use of tandem parking.

Minimum one (1) internal car space per dwelling, providing there is one (1) visitor off road car space (in driveway and wholly within the allotment).

3.6 PRIVACY

Where direct views between dwellings exist, privacy between dwellings must be achieved by one or more of the following:

- minimum 50% obscure glazing;
- 1.7 metre window sill levels;
- external screens;
- 1.8 metre high dividing fence for ground floor windows; or
- obscured glazing or film on windows to all bathrooms / WC rooms.

3.7 SERVICE COURTS

Each dwelling is to be provided with a service area. This is to accommodate all clothes drying facilities, waste bins, water tanks and air conditioning plant.

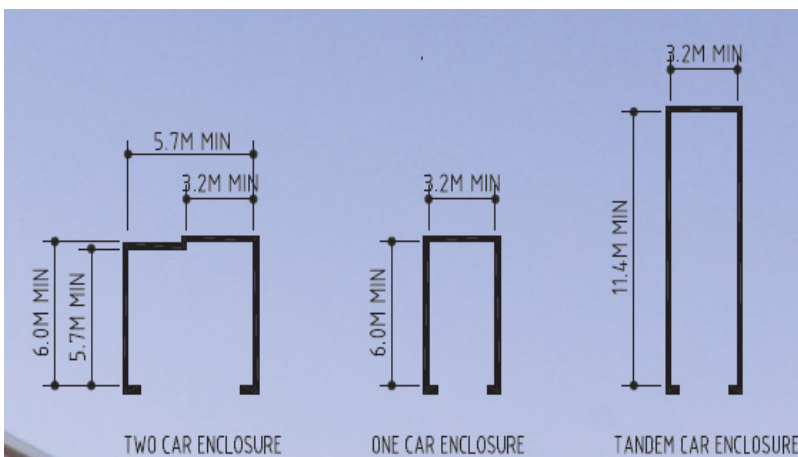
Service areas may be provided in more than one location.

Service areas must be screened from the street / laneway view.

3.8 PRIVATE OPEN SPACE

- A minimum of 25m² must be provided as private open space.
- If a Duplex dwelling, then 15m² is required per dwelling (total 30m²).
- No part of this space will be less than 3 metres in dimension.
- Private open space may be split into different areas providing the minimum area is at least 15m².

- Must be accessible from a living room, dining room or kitchen, providing these areas are located on the ground level of a multi storey dwelling.
- Part of the private open space may be roofed.
- Private open space cannot include any service courts.
- Gradients for private open space must not exceed one in ten (1:10).



3.9 FACADE TREATMENT

The building shall be designed to ensure that the presentation to any road or laneway frontage creates visual interest and is not stark or austere.

Featureless expanses of blank walls are not permitted.

Visual interest to the façade(s) may be provided through means of a combination of:

- articulation
- feature windows and doors
- variations in colours
- feature panels and blades
- proportional porticos
- balconies and verandahs
- roof forms (e.g. skillion).
- strong and legible entry.

Similar homes with similar façades will not be approved on adjoining lots.

No garden sheds, AC condenser or clothes lines can be between the façade directly facing public space (including roads) and the public space.

The frontage identified (if applicable) for the primary pedestrian access on the **Lot Typology Plans** in **Annexure B** must be treated as the primary building façade.

Garages are to be setback a minimum of 1m behind the main building form.

3.10 EXTERNAL WALL MATERIALS AND COLOURS

To give a sense of variety and interest, a mix of materials or colours must be used to all walls facing a street or park frontage.

A minimum of two colour and/or material variations must be incorporated (excluding windows, doors and garage doors).

Split-face blockwork or face brickwork may only be used as a feature.



Types of external wall materials and colours



Visual interest to the facade

3.11 ROOFING DETAILS

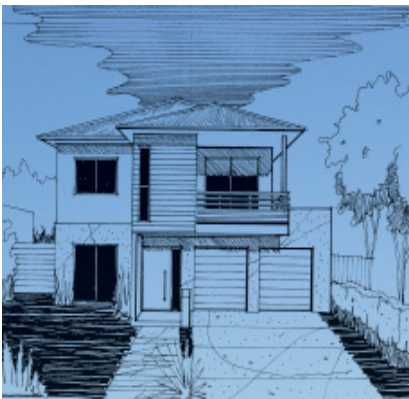
Roof Form

Roof pitches for traditional hip and gable roofs must be less than 40 degrees.

Skillion or mono-pitched roof profiles may also be used to embrace the natural aesthetic of the surrounding environment.

No domes, turrets or spires are allowed.

Three storey dwellings must have a skillion roof profile.



Hipped roof line



Skillion roof line

Eaves

For all single storey houses:

- a minimum of 450mm eaves must be provided to all publicly visible facades (primary street, secondary street, park, etc).

For all two / three storey houses:

- a minimum of 450mm eaves must be provided to all publicly visible facades (primary street, secondary street, park, etc) on the ground level; and
- a minimum of 450mm eaves must be provided to all

elevations on the second storey.

Exceptions to the above will only be permitted on built to boundary walls and over garage structures, so long as they are a minimum of 1m behind the primary facade.

Materials and Colours

Roofs should complement the external house colour scheme.

Organic materials, such as thatch or timber shingles, are not acceptable.

Highly reflective materials, such as unpainted or finished metal sheeting or zinalume, are not permitted.

All gutter and downpipe profiles or treatments must complement the colour scheme of the home.

3.12 FENCING

The maximum fence height shall be 1.8 metres.

All fencing generally visible from public or common property areas must be constructed of high quality materials, such as hardwood timber, and enhance the streetscape.

Where located at the top of a retaining wall facing a road frontage, the fence must be setback a minimum of 500mm and landscaped with plants between the top of the retaining wall and the base of the fence.

Specific fencing requirements for Lot Types SS and S

Fencing of lots identified on the **Lot Typology Plans** (in **Annexure B** of this document) as **Lot Types SS and S** are not permitted to have the fence extend forward of the face of the primary façade.

Fencing must be setback behind the front of the building.

Fencing facing the street must be designed to enhance the streetscape and be constructed of high quality materials such as hardwood timber.

Specific fencing requirements for Lot Types C, D, PF & PFC

Fencing of lots identified on the **Lot Typology Plans** (in **Annexure B** of this document) as **Lot Type C, D, PF and PFC** are as follows:

Primary Frontage requirements:

- Is not permitted to have the fence extend forward of the face of the primary façade.
- Must be setback behind the front of the building.
- Must be constructed of high quality materials such as hardwood timber.
- Must enhance the streetscape.

Secondary Frontage requirements:

Fencing to secondary frontages (side) of corner lots may extend beyond the face of the secondary façade, only on the basis the fencing visible from public areas is:

- constructed of high quality materials such as hardwood timber;
- enhances the streetscape;
- does not extend for lengths greater than 10 metres without a landscaped recess 3 metres in length and 1 metre deep; and
- solid up to a height of 1.2m with any fencing above 1.2m in height being at least 50% transparent or the fence can be at least 25% transparent overall where the transparency is consistent across the full area of the fence i.e. transparent sections cannot be located solely at ground level.

Park Frontage requirements (if applicable):

Fencing to park frontages must be:

- constructed of high quality materials such as hardwood timber;
- enhances casual surveillance;
- does not extend for lengths greater than 10 metres without a landscaped recess 3 metres in length and 1 metre deep;

- up to a height of 1.8m;
- at least 50% transparent; and
- where there is any existing fencing along the park frontage constructed during subdivision works, it must be maintained and only replaced with fencing of the exact same kind.

3.13 LANDSCAPING

Landscaping is required forward of the dwelling to all street frontages.

Landscaping will:

- Include planted garden beds to a minimum of 60% of the available soft landscaping area forward of the building line on the primary frontage, with high quality turf installed to the remainder of soft landscaping areas.
- Garden bed preparation is recommended to include a minimum of 200mm of topsoil and 75mm of mulch.
- A minimum of two advanced trees (minimum size of 45L stock and 1.8m tall) must be provided to the landscape areas between the dwelling and the verge and it is recommended that the species selected is from the preferred species list provided in **Annexure D** of this document.
- At least one of the required minimum two advanced trees is not a palm species.
- Tree species must be located and selected to avoid interference with services, infrastructure, neighbouring properties and your own home. Owners must satisfy themselves they have selected the appropriate species and clearance to avoid any future issues or damage occurring.
- Include a combination of trees, shrubs and ground covers must be selected to soften the built form, provide variety and contribute to privacy and security.
- Turf areas must be separated from other surface finishes such as gardens and gravel

with a robust edge to contain the lawn within the desired area.

- Acceptable materials for garden edging include concrete, galvanised steel and regular-shaped timber. Unacceptable materials include, but are not limited to, plastic and timber logs.
- Generally, a 50/50 ratio of shrubs to ground covers will establish suitable variety of form.
- Storm water run-off must discharge into the kerb via a built-in kerb adaptor or inter-lot drainage (if provided). Grading of the landscape must eliminate storm water run-off into neighbouring properties.
- Retaining wall construction must include a suitable drainage system to deliver sub-surface water below the wall to the local storm water system.



Annexure A

Precinct 5.2 - 5.5 Setback Tables

Precinct 5.2 - 5.5 Setback Tables

Standard lot typologies

Note: To determine applicable Lot Typology Code for a Lot, refer to Lot Typology Plans in Annexure B

LOT TYPOLOGY CODE		BOUNDARY		GROUND FLOOR SETBACK (min)	FIRST FLOOR SETBACK (min)
STANDARD					
SS	Less than 12m frontage	Front	Garage	5.5	N/A
			Balance of Façade	3	3
		Side	Built to Boundary	0	1
			Non - Built to Boundary	1	1.5
		Rear	Rear	1.5	2
S	12m or greater frontage	Front	Garage	5.5	N/A
			Balance of Façade	3	3
		Side	Built to Boundary	0	1
			Non - Built to Boundary	1.5	2
		Rear	Rear	1.5	2
C	Corner	Front	Garage	5.5	N/A
			Balance of Façade	3	3
		Side	Built to Boundary (if applicable)	0	1
			Non - Built to Boundary (if applicable)	1.5	2
			Secondary Road Frontage	3	3
Rear	Rear	1.5	2		

Precinct 5.2 - 5.5 Setback Tables

Park Frontage lot typologies

Note: To determine applicable Lot Typology Code for a Lot, refer to Lot Typology Plans in Annexure B

LOT TYPOLOGY CODE		BOUNDARY		GROUND FLOOR SETBACK (min)	FIRST FLOOR SETBACK (min)
PARK FRONTAGE					
PF		Front	Garage	5.5	N/A
			Balance of Façade	3	3
		Side	Park Frontage	3	3
			Built to Boundary	0	1
			Non - Built to Boundary	1.5	2
		Rear	Rear	1.5	2
			Park Frontage	3	3
		PARK FRONTAGE CORNER			
PFC		Front	Garage	5.5	N/A
			Balance of Façade	3	3
		Side	Road Frontage	3	3
			Built to Boundary	0	1
			Non - Built to Boundary	1.5	2
		Rear	Rear	1.5	2
			Park Frontage	3	3

Precinct 5.2 - 5.5 Setback Tables

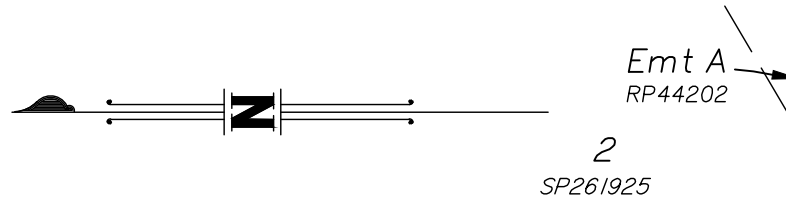
Duplex lot typologies

Note: To determine applicable Lot Typology Code for a Lot, refer to Lot Typology Plans in Annexure B

LOT TYPOLOGY CODE		BOUNDARY		GROUND FLOOR SETBACK (min)	FIRST FLOOR SETBACK (min)
DUPLEX					
D		Front	Garage	5.5	N/A
			Balance of Façade	3	3
		Side	Second Road Frontage - Garage	5.5	N/A
			Second Road Frontage - Balance of Façade	3	3
			Built to Boundary (if applicable)	0	1
			Non - Built to Boundary	1.5	2
		Rear	Built to Boundary (if applicable)	0	1
			Non - Built to Boundary	1.5	2

Annexure B

Precinct 5.2 - 5.5 Lot Typology Plans



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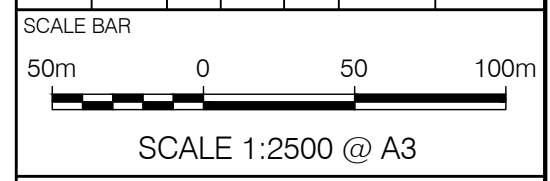
PROJECT
**LOT TYPOLOGY
FOR PRECINCTS 5.2-5.5
GAINSBOROUGH GREENS**

LOCAL AUTHORITY
GOLD COAST CITY COUNCIL

NOTES
(i) This plan was prepared for the purpose and exclusive use of MIRVAC to accompany an application to GOLD COAST CITY COUNCIL for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii) or (iii) hereof.
(ii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.
(iii) This plan may not be copied unless these notes are included.



STAGE	No. OF LOTS	NEW ROAD			AREA OF PARK	TOTAL AREA
		20m	16.5m	12.5m		
5.2	62	-	510m	-	-	3.56ha
5.3	55	-	370m	65m	-	3.83ha
5.4	23	-	235m	-	758m ²	1.82ha
5.5	96	-	1015m	-	1050m ²	29.67ha
TOTAL	236	-	2130m	65m	1808m²	38.88ha



LEGEND

- 10m wide
- 12.5m wide
- 14m wide
- 16m wide
- 18m wide
- 20m wide (Duplex)
- Medium Density
- Edge of Vegetation

STAGE	Total	
	No. OF LOTS	%
10m	6	3
12.5m	70	30
14m	79	33
16m	46	19
18m	30	13
20m	5	2
>20m	-	-
TOTAL	236	100

Total Area = 14.95 ha
 Total Developable Area = 14.43ha
 Total Dwellings = 241 (including duplexes)
 Density = 16.7 dwellings/Developable Area(ha)

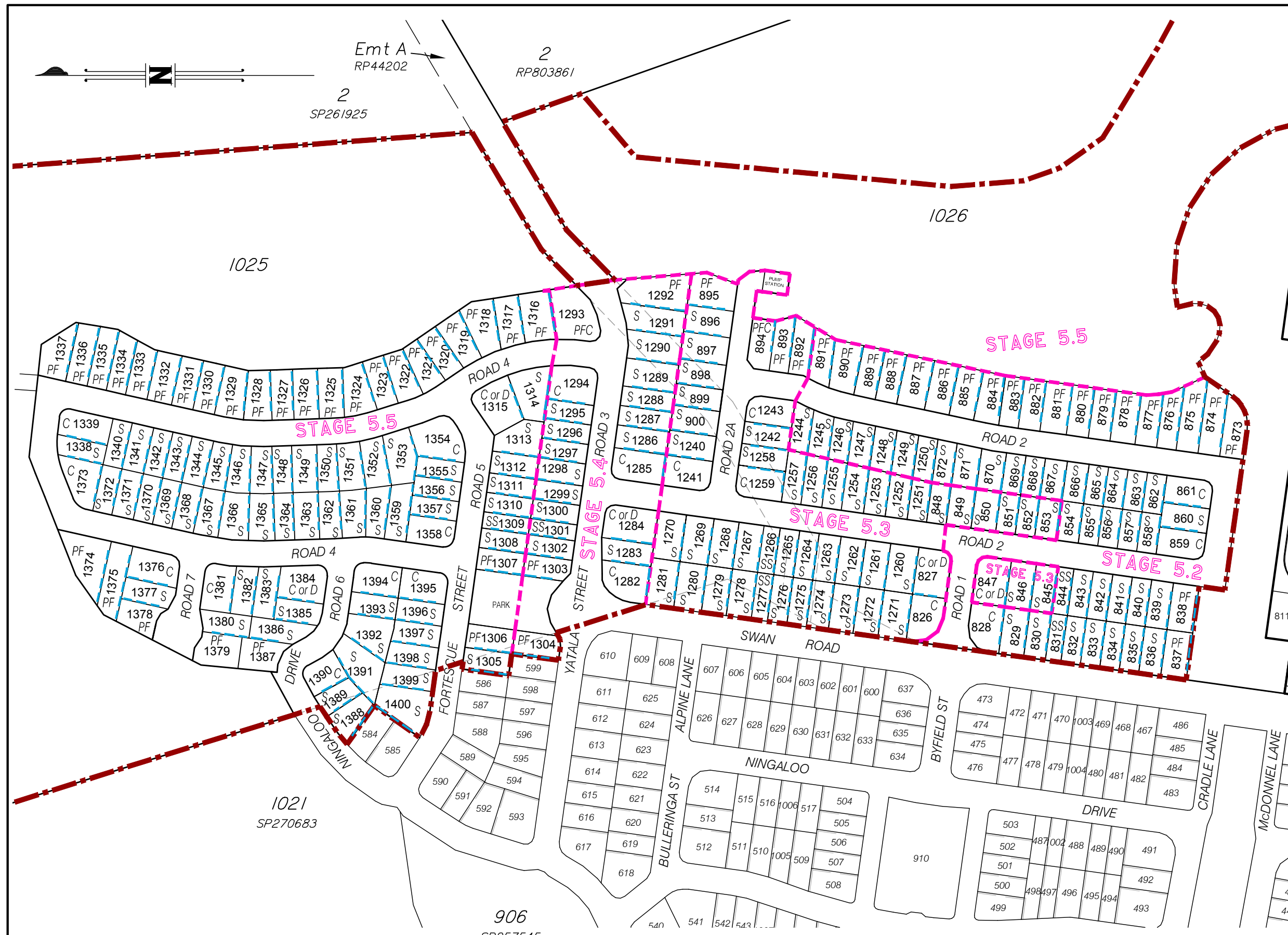
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LEVEL ORIGIN	-		
CONTOUR INTERVAL	0.5 m		
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APPROVED	JHD	DATE	16/06/2015

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NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE NATURAL RESOURCES AND MINES.



LEGEND

- SITE BOUNDARY
- STAGE BOUNDARY
- LOCATION OF ZERO LOT LINE
- C CORNER LOT
- S STANDARD LOT
- SS SMALL STANDARD LOT
- PF PARK FRONT LOT
- PFC PARK FRONT CORNER LOT
- D DUPLEX LOT

CLIENT
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PROJECT
LOT TYPOLOGY FOR PRECINCTS 5.2-5.5 GAINSBOROUGH GREENS

LOCAL AUTHORITY
GOLD COAST CITY COUNCIL

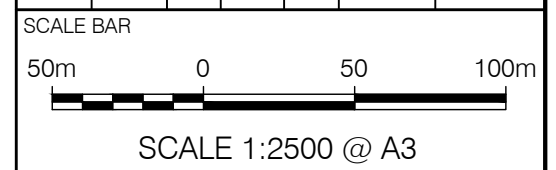
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(ii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.

(iii) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	NEW ROAD			AREA OF PARK	TOTAL AREA
		20m	16.5m	12.5m		
5.2	62	-	510m	-	-	3.56ha
5.3	55	-	370m	65m	-	3.83ha
5.4	23	-	235m	-	758m ²	1.82ha
5.5	96	-	1015m	-	1050m ²	29.67ha
TOTAL	236	-	2130m	65m	1808m²	38.88ha



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PLAN NUMBER SHEET 2 OF 2 REV K
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Annexure C

Preferred Plant Species for Private Gardens

TREES

<i>BACKHOUSIA CITRIDORA</i>	LEMON-SCENTED MYRTLE
<i>BRACHYCHITON BIDWILLII</i>	LITTLE KURRAJONG
<i>CALLISTEMON SALIGNUS</i>	WILLOW BOTTLEBRUSH
<i>CRYPTOCARYA LAEVIGATA</i>	GLOSSY LAUREL
<i>MELALEUCA LINARIIFOLIA</i>	FLAXLEAF PAPERBARK
<i>SYZYGIIUM JAMBOS</i>	ROSE APPLE

SHRUBS

<i>BAEKEA FRUTESCENS</i>	WEeping BAEKEA
<i>BANKSIA ROBOUR</i>	SWAMP BANKSIA
<i>BORONIA ROSMARINIFOLIA</i>	FOREST BORONIA
<i>BREYNIA OBLONGIFOLIA</i>	OBLONG-LEAVED BREYNIA
<i>CORDYLINe AUSTRALIS</i>	NATIVE CORDYLINe
<i>DILLWYNIA FLORIBUNDA VAR. FLORIBUNDA</i>	SHOWY PARROT-PEA
<i>GREVILLEA "HONEY GEM"</i>	"HONEY GEM"
<i>HIBISCUS DIVERSIFOLIUS</i>	SWAMP HIBISCUS
<i>LEPTOSPERMUM POLYGALIFOLIUM</i>	WILD MAY
<i>MELALEUCA "CLARET TOPS"</i>	CLARET TOPS
<i>MELALEUCA NODOSA</i>	PRICKLY LEAVED PAPERBARK
<i>PIMELEA LINIFOLIA</i>	RICE FLOWER
<i>PITTOSPORUM REVOLUTUM</i>	SWEET PITTOSPORUM
<i>PULTENAEA RETUSA</i>	PULTENAEA
<i>PROSTANTHERA OVALIFOLIA</i>	OVAL-LEAVED MINT BUSH
<i>SYZYGIIUM AUSTRALE "RESILIENCE"</i>	RESILIENCE LILYPILLY
<i>SYZYGIIUM CASCADe</i>	CASCADE LILYPILLY
<i>WESTRINGEA FRUITOCOSA "ZENA"</i>	ZENA
<i>XANTHORRHOEA JOHNSONII</i>	GRASS TREE

GROUNDCOVERS,
SEDGES AND CLIMBERS

<i>AUSTROMYRTUS DULCIS</i>	MIDYIM
<i>CASUARINA GLAUCA (PROSTRATE FORM)</i>	SWAMP OAK GROUND COVER
<i>DIANELLA CAERULEA</i>	FLAX LILLY
<i>DIANELLA LONGIFOLIA</i>	PALE FLAX LILY
<i>DIANELLA BREVIPEDUNCULATA</i>	SHORT FLOWERED FLAX LILY
<i>HARDENBERGIA VIOLACEA</i>	NATIVE SARSPARILLA
<i>HIBBERTIA SCANDENS</i>	GUINEA FLOWER
<i>HYPOLEPIS MUELLERI</i>	HARSH GROUND FERN
<i>LOMANDRA FILIFORMIS</i>	FINE LEAF MAT RUSH
<i>LOMANDRA HYSTRIX</i>	SLENDER MAT RUSH
<i>LOMANDRA LONGIFOLIA</i>	LONG LEAVED MAT RUSH
<i>PITTOSPORUM REVOLUTUM</i>	HAIRY PITTOSPORUM
<i>PTERIDIUM ESCULENTUM</i>	BRAKEN



BACKHOUSIA CITRIDORA
LEMON-SCENTED MYRTLE



CALLISTEMON SALIGNUS
WILLOW BOTTLEBRUSH



CRYPTOCARYA LAEVIGATA
GLOSSY LAUREL



SYZYGIIUM JAMBOS
ROSE APPLE



BANKSIA ROBOUR
SWAMP BANKSIA



DILLWYNIA FLORIBUNDA
SHOWY PARROT-PEA



HIBISCUS DIVERSIFOLIUS
SWAMP HIBISCUS



LEPTOSPERMUM POLYGALIFOLIUM
WILD MAY



AUSTROMYRTUS DULCIS
MIDYIM



DIANELLA LONGIFOLIA
PALE FLAX LILY



HARDENBERGIA VIOLACEA
NATIVE SARSPARILLA



HIBBERTIA SCANDENS
GUINEA FLOWER