

THE GRAND RESERVE

Gainsborough
Greens PIMPAMA

Residential Design Guidelines

STAGE 3.1B & 3.1C



A great design will add value to your home, increase sustainability, improve your quality of life and foster a premium image for Gainsborough Greens.



METRICON HOMES – BAYVILLE

Design Guidelines Overview

The Gainsborough Greens Design Guidelines have been prepared to assist purchasers (and their builders/designers) to construct well designed, high quality homes to create a premium Mirvac community with a consistent vision. Each house within Gainsborough Greens must be constructed in accordance with the guidelines which will be managed by the Design Committee.

COVENANT APPROVAL PROCESS

This section provides you with easy to follow steps on the approval process managed by the Design Committee. Following these steps will ensure your home meets the Gainsborough Greens Design Guidelines.



HOME SIZE & SIZING

It is important that the size of your house suits the lot you have chosen. Please ensure your home meets the minimum size requirements for your block.



SUSTAINABLE LIVING

Mirvac considers sustainability and innovation to be key components in delivering cohesive communities that are safe, encourage healthy lifestyles and result in lower household expenses. We will provide you with some helpful tips on how you can incorporate sustainability and innovation into the design of your home.



BUILT FORM

The design of each home in Gainsborough Greens will contribute to the overall aesthetic of the development. Owners are required to build quality and innovative house designs to ensure a cohesive and premium residential image for Gainsborough Greens.



LANDSCAPING

High quality landscaping softens the façade of your home and is essential to increasing the overall aesthetic of the streetscape. A lush and well maintained streetscape will ensure that Gainsborough Greens has a premium look and feel throughout the development.



FENCING

Fences are an important part of the streetscape and define the lot boundary of your home. To ensure the architecture of your home is complemented by fencing, we require you to use quality fencing materials and design measures.



CONSTRUCTION OBLIGATIONS

Maintaining appealing streetscapes is integral to Gainsborough Greens, even during construction. We ask that you follow specific guidelines to ensure that the development always presents highly.

Covenant Approval Process

STEP 1 – DESIGN	Your builder will work with you to design your home to meet Covenant. It is important that your builder has access to the Gainsborough Greens Design Guidelines. During the design phase, should you or your builder wish to raise any questions with Mirvac, please submit your query to gainsborough@mirvac.com and the Settlements Team will be happy to assist.
STEP 2 – SUBMISSION	Once your design is finalised, please submit your Covenant Application via email to gainsborough@mirvac.com
STEP 3 – COVENANT BOND PAYMENT	A Covenant Bond is required to be paid to the following: HWL Ebsworth Lawyers Law Practice Trust Account Account Number: 24 66 34 BSB: 034 003 Description: "Surname" Gainsborough "Lot Number" – Covenant Bond Be sure to include the proof of bond payment as part of your Covenant Application to avoid a delay in the assessment and approval process. This amount is held in trust and is fully refundable upon completion of your home and landscaping in accordance with the Design Guidelines.
STEP 4 – ASSESSMENT	The Design Committee will assess your plans for compliance with the Design Guidelines. This process will generally take 2 weeks, assuming all information is provided. Any items requiring amendment will need to be resubmitted prior to approval being granted.
STEP 5 – COVENANT APPROVAL	Covenant Approval will be issued when the submission complies with the Design Guidelines. Please take care to note any comment(s) on your approved plans to ensure that all conditions of the Covenant Approval are addressed come final inspection.
STEP 6 – BUILDING APPROVAL	Once Covenant Approval has been issued, an application can then be made to your accredited building certifier/Council for the statutory building application.
STEP 7 – CONSTRUCTION	Please ensure that your lot is properly maintained to be free of excess weeds, rubbish or garbage prior to and during construction. This will ensure that your land is clean and safe at all times.
STEP 8 – INSPECTION	Once your house and landscaping are complete, please request your Final Inspection at gainsborough@mirvac.com . The Final Inspection will be carried out by the Design Committee and assessed against your previously issued Covenant Approval. This process will generally take 2 weeks.
STEP 9 – FINAL COMPLIANCE APPROVAL	If your home is compliant, the Design Committee will issue a Final Compliance Approval. Should your home not be in accordance with the previously issued Covenant Approval, the Design Committee will notify any items to remedy prior to issuing a Final Compliance Approval.
STEP 10 – REFUND OF COVENANT BOND	The Covenant Bond will be refunded to your bank account once the Final Compliance Approval is issued. This process will generally take 1 week.
STEP 11 – LIVING AT GAINSBOROUGH GREENS	The best part! Move into your new home and enjoy the beautiful community that is Gainsborough Greens.



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Home Design

The design of your home is essential to ensuring a consistent standard of quality throughout Gainsborough Greens. Façade design, materials, colours, screening, service locations, roof design and considered architecture allowing privacy and reducing cross viewing, are all important factors.



These Design Guidelines work to ensure a consistent standard of high quality housing, giving you and your neighbours comfort in what you can expect to be built throughout Gainsborough Greens.

GENERAL

- The character of your home must be of a contemporary architectural aesthetic. It should reflect the natural characteristic of Gainsborough Greens and be sympathetic to the natural colour tones.
- The design of your home, fences and landscaping must be approved by the Design Committee.
- Your builder also needs to obtain the statutory approvals required by Government.
- Construction cannot commence until you have both of these approvals.
- Your home cannot be occupied until final completion of the house and landscaping including external painting, render, fencing and driveways.

LOT TYPES

Refer to the plan in Annexure A to identify your lot and locate your Zero Lot Boundary if applicable.

MINIMUM BUILDING SIZE

To preserve property values, the minimum permissible plan area and dwelling areas apply, this includes double garage, porch, decks and undercover outdoor areas.

- Lots less than 500m²:
Homes must be no less than 210m²
- Lots greater than 500m²:
Homes must be no less than 250m²
- Pinnacle lots: Homes must be no less than 280m²
- For lots with only one street frontage, the minimum width of your home is 75% of the primary street frontage width, measured to the outside of walls. This may be relaxed on merit for two-storey homes by approval from the Design Committee.
- For corner lots, the minimum width and length is 65% of the respective frontage. This may be relaxed on merit for two-storey homes by approval from the Design Committee.
- The highest point of the roof of your home must not exceed 8.5m above the As Constructed Site Level.

Home Design continued

DOUBLE STOREY LOTS

All lots indicated in Annexure A as having storey height requirements shall be two storey in height and include at least one habitable room on the second level.

PINNACLE LOTS

Please refer to page 22 for Pinnacle Lot additional façade requirements.

PRIVATE OPEN SPACE

- Your home must provide a minimum of 25m² private open space with a minimum 3m width.
- Must be accessible from a living room, dining room or kitchen, provided these areas are on ground level.
- Part of the private open space may be roofed.
- Private open space must not include any service items such as bin storage, air conditioning condensers, water tanks etc.
- Gradients for private open space must not exceed one in ten (1:10).

GARAGES

- Garages must be integrated into the main building and are to be setback a minimum of 1m behind the main building front wall and 5.5m from the street boundary.
- Minimum internal garage dimensions are 6m deep and 5.7m wide.
- Minimum two car internal garage and minimum one off road visitor car space (in driveway and wholly within the lot) must be provided.
- Carports/shade sails are not permitted at Gainsborough Greens.

FRONT ENTRY DOOR

- Your home's front door must be well defined and visible from the primary street.
- The entry door must be nominal 1200mm wide (not including side light) with 20% glazing.
- Other combinations may be approved on merit if they achieve architectural interest to the façade of your home.

SECURITY & INSECT SCREENS

- The style of any screen visible from a Public Area must be of a simple profile. Hexagonal or ornate historical styles are not permitted.
- Frames and screens must match the colour of the door or window frames or be dark grey or black in order to reduce their visual impact.
- Security shutters or security blinds over windows are not permitted if visible from a Public Area.

EXTERNAL SERVICES & WASTE RECYCLING

- If you have a rainwater tank it must be located away from or screened from view from all Public Areas.
- Meter boxes must be painted to match the wall colour.
- TV antennae must be located as to minimise visual impact from Public Areas.
- Satellite dishes and radio masts are not permitted unless they are not visible from Public Areas.
- Storage tanks for solar hot water systems, roof and wall mounted air conditioning units, clothes drying facilities, garbage bins and service yards are not to be visible from Public Areas and Open Space.
- Solar panels are permitted but must be located so as to minimise visual impact from Public Areas.

PRIVACY & CROSS VIEWING

Privacy between your home and your neighbours' homes is to be achieved by one or more of the following measures:

- Obscure glazing to all bathrooms and toilets.
- 1.7m high sill levels above floor level.
- External screens.
- 1.8m high dividing fence for ground floor windows.
- Where a direct view from a verandah or deck exists into the Private Open Space of an adjoining home, the outlook must be screened by privacy screens that have openings that make it not more than 25% transparent.



MIX OF MATERIALS & COLOURS

1200MM WIDE FRONT DOOR

GARAGE SETBACK & MINIMUM 5.7M WIDE

RENDERED LETTERBOX

HOUSE WIDTH 75% FRONTAGE OF LOT

Primary Façade Design

The residential character of your home must be of a contemporary architectural aesthetic. It should reflect the characteristics of Gainsborough Greens, embracing the natural bushland and open spaces, with sympathetic colour tones and material palette.

PRIMARY STREET FAÇADE DESIGN

- The façade must be designed to address the street frontage and should include, but not limited to:
 - Large areas of glazing, arranged to create interest and variation in the façade.
 - Variation in the wall plane through the use of material variation, architectural projections, feature panels, recesses in the vertical wall plane etc.
 - Articulation of the roof line.
- Ground floor ceiling heights must be 2700mm.
- Any entrance portico must be proportional to the façade of the building and designed as a feature on the façade. Excluding eave overhangs, steps and entry paths, any portico is to be a minimum of 4m² and 1.5m deep.
- At least 1 habitable room should address the Primary Street frontage.
- Similar homes with similar façades are not allowed on adjoining lots.
- Obscure windows or windows to toilets and bathrooms should not front the Primary Street. If they do, they must be aesthetically screened.
- Walls over 9m in length without windows or articulation are not permitted.
- No garden sheds, air conditioning condensers, clothes lines, or other utilities can be located on the primary, secondary or open space façades.

ARTICULATION

Articulation can be achieved through a variety of ways and must incorporate at least one of the following features:

- Variable wall setbacks to the front and side street boundaries.
- Introduction of verandahs, porticos and pergolas.
- Feature gable roof.
- Continuation of window style.



Façade Design continued

CORNER LOT FAÇADE DESIGN

This section is only applicable to Corner Lots.

- Your home must be designed to address both Primary and Secondary Street frontages.
- The secondary façade must be designed to address the street frontage and should include, but not limited to:
 - Large areas of glazing, arranged to create interest and variation in the façade.
 - Variation in the wall plane through use of material variation, colour variation and/or feature panels.
 - Variation in the wall plane through architectural projections, intentional articulation and/or recesses in the vertical wall plane. See example diagram.
 - Articulation of the roof line.
- Walls over 9m in length without windows or articulation are not permitted.
- At least 1 habitable room should address the Secondary Street frontage.
- No garden sheds, air conditioning condensers, clothes lines or other utilities can be located between the Secondary Street façade and boundary unless they are screened from view from a Public Area by approved screens or fences.

To assist you with designing your corner lot home, please refer to the example of articulation addressing the secondary frontage.

GLAZING TO PUBLIC AREAS

- All façades (excluding the garage door) are to include glazing for a minimum 10% of the façade area to provide surveillance, interest and variation.
- Sliding windows under 1200mm width are not permitted.
- Reflective glass is not permitted.
- Temporary window treatments or vertical blinds are not permitted at any time.

EXTERNAL WALL MATERIALS & COLOURS

- To give a sense of variety and interest, a mix of materials and colours must be used to all walls of your home facing a street, open space or park frontage.
- A minimum of 3 variations of colour and materials (excluding windows, doors and garage doors) must be incorporated.
- Double or 1.5 height face brick is not permitted anywhere.
- Second hand materials are not permitted unless they are used as highlight architectural elements.
- Your colour scheme must be primarily muted, coastal tones. Limited and controlled featured highlight colours may be approved on merit.
- Each application is to be accompanied by an External Colour Schedule clearly nominating the location and extent of colours and materials.
- Finishes to any non-feature masonry must be solid render, not 'bag & painting'.
- Face brick blockwork is not permitted (primary, secondary, side and rear walls).
- Face brick is not permitted as a feature material.
- Masonry used as a feature material must be a contemporary architectural style brick different to that used as the main house brick and/or laid in a feature pattern, i.e. stack bond. Please refer to acceptable feature brick examples on page 18.
- Finishes to the Primary Street and/or Secondary Street façade must return back around the other walls and extend back:
 - a) For built to boundary walls, the full length of the wall, or
 - b) For other walls to the first change in the vertical plane of the wall or window or door edge (excluding corner windows).

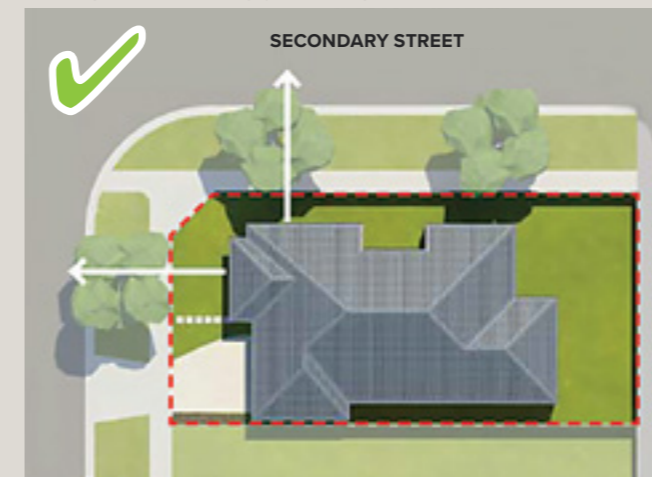
ROOFS

- 40 degrees is the maximum pitch for traditional hip and gable roofs.
- All single storey houses are to have a minimum of 450mm eaves to all publicly visible façades.
- All double and triple storey houses are to have a minimum of 450mm eaves to all publicly visible façades on ground level, and a minimum of 450mm eaves must be provided to all elevations on the upper storey.

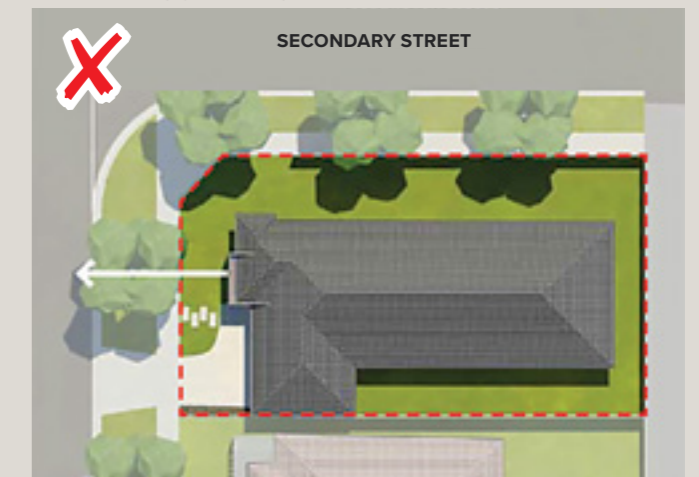
Your roof materials are limited to:

- Corrugated pre-finished metal sheets (e.g. COLORBOND®).
- Roof tiles.

Example of compliant articulation along secondary frontage



Example of no articulation along secondary frontage



Open Space Façade Design

Open Space façades should display visual interest, scale and form that integrates the home with the landscape of the adjoining park or golf course with the intention of creating a harmonious backdrop to the premium open space.



LOTS WITH A BOUNDARY TO OPEN SPACE

- Finishes to any non-feature masonry on open space lots must be solid render, not 'bag & painting'.
- Face brick block work is not permitted on Open Space lots.
- To give a sense of variety and interest, a mix of materials or colours must be used to all walls facing an open space or park frontage.
- The façade must be designed to address the open space and should include, but not limited to:
 - Large areas of glazing, arranged to create interest and variation in the façade.
 - Variation in the wall plane through the use of material variation, architectural projections, feature panels, recesses in the vertical wall plane, etc.
 - Articulation of the roof line.

OPEN SPACE LANDSCAPING

To provide an interface between public areas, golf course frontage and park frontage, lots must have a minimum 1m landscape buffer from the top of the retaining within the lot boundary. Planting in this landscape buffer should include hedges and shrubs in a mulched garden bed. A maximum of 50% turf may be used in this area.

- Access is not permitted (including golf buggies) directly to the park or golf course areas from open space lots.
- Good Neighbour Pine Fence (Type 1) must rake down to meet the rear Open Space Fencing (Type 4).



Façade examples

HAMPTONS FAÇADE



CONTEMPORARY FAÇADE



Feature Brick examples

Masonry used as a feature material must be a contemporary architectural style brick different to that used as the main house brick and/or laid in a feature pattern, i.e. stack bond. Face brick is not accepted as a feature material.

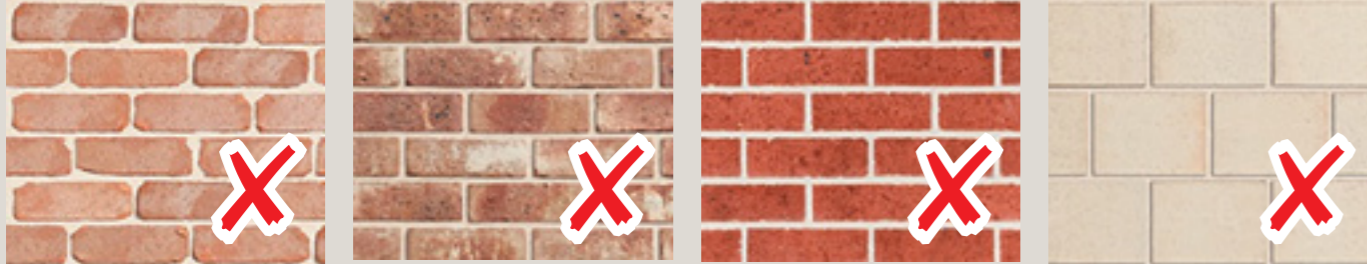
Acceptable feature brick

Clean crisp lines, uniform contemporary colours, single/half height.



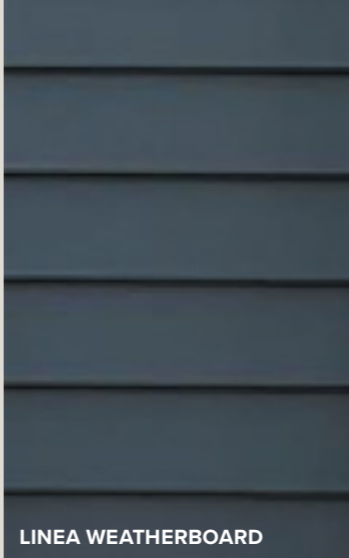
Not Acceptable

Mottled colouring, rough edged, bland colouring, double height.



Material examples

To give a sense of variety and interest, a mix of materials and colours must be used to all walls of your home facing a street, open space or park frontage.



General Siting & Setbacks

Refer to the applicable setback table in Annexure B for information for Siting and Setback requirements. Ensure that you refer to the right information for your lot.

BUILDING SETBACKS

- All building setbacks for all single and two (2) storey dwellings are to be in accordance with the Setback Tables and Lot Typologies included in Annexure B and C of this document.
- Setbacks are to be measured to the face of the dwelling wall (or face of garage door for garages).
- Except for boundaries to Open Space, permitted encroachments are permitted within the setback zone up to 450mm of the property boundary (except for nominated Built to Boundary property boundaries where encroachments may extend up to the boundary).
- Where a lot is subject to a bushfire buffer, no part of the dwelling, including outer most projections, may extend beyond the buffer.

Bushfire Management:

Some areas of The Grand Reserve are affected by bushfire legislation.

All lot owners must comply with any relevant bushfire setbacks, guidelines and approved management plans.

Permitted Encroachments:

Include eaves, awnings, sun screens, privacy screens, architectural features such as gatehouses and pergolas (where not enclosed and not more than 2.4m high when proposed at the boundary).

Garden walls, fences and other landscape features are permitted within setback zones providing individual elements are not more than 2m in height.

ZERO LOT BOUNDARY WALLS

- Zero Lot Boundaries are shown on the Lot Plan included in Annexure A of this document.
- It is not mandatory to build to boundary.
- Second storey walls of Built to Boundary walls must be setback a minimum of 1 metre from the property boundary.
- Built to Boundary walls must not extend for more than 9 metres on the boundary without a recess for 3 metres which must be a minimum 1 metre deep recess.
- Built to Boundary walls must not have any openings or windows.
- Built to Boundary walls must not encroach over the property boundary.
- Walls, which have windows and doors, adjacent to Zero Lot Boundaries must be setback a minimum of 1 metre.

SITE COVER

Lots 601m² or larger

- A maximum site coverage of 60% of the site area is permitted.

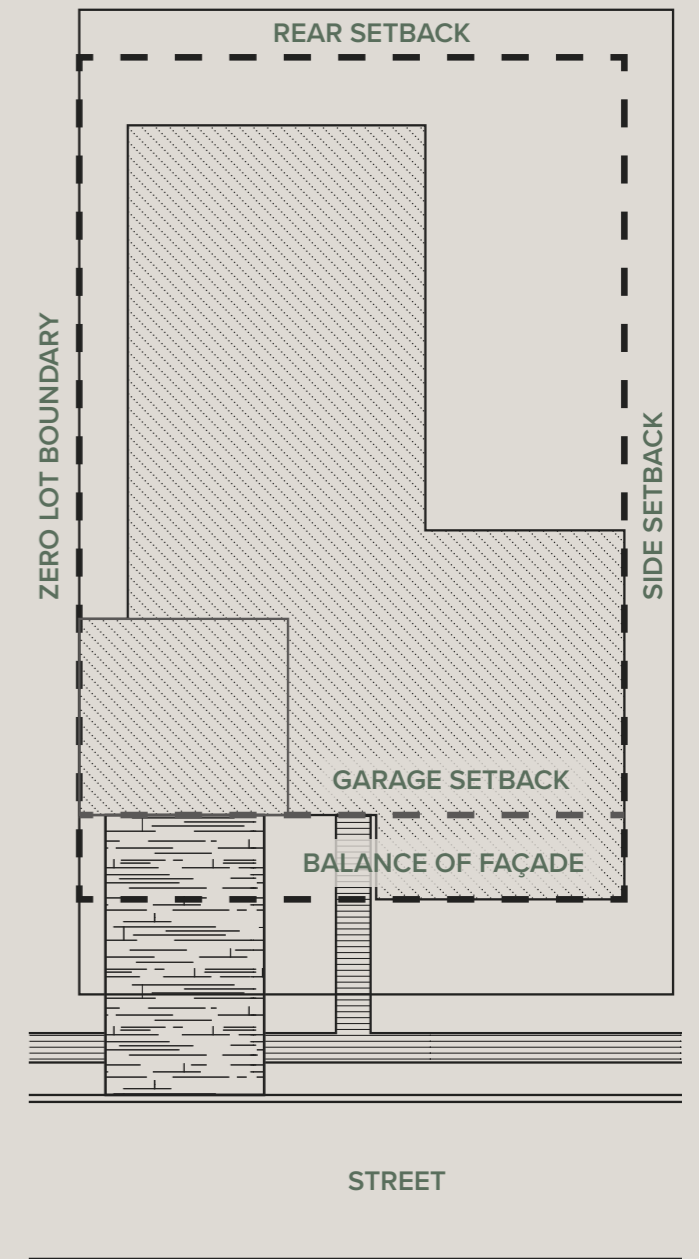
Lots 600m² or smaller

- A maximum site coverage of 60% of the site area is permitted and an additional 10% site cover is permitted for covered Private Open Space.
- Site coverage is to be measured to the face of the wall, except to garages which shall be measured to the face of the door. For covered Private Open Space it shall be measured to the outer most projection of the roof structure.
- Site coverage calculations are to exclude un-roofed stairs and ramps, window hoods and un-roofed pergolas.

DWELLING ACCESS

- The garage and driveway access for all dwellings must be by the road frontage identified (if indicated) in Annexure A.
- The primary pedestrian access must be from the road frontage identified (if indicated) in Annexure A.
- Pedestrian access may be from multiple road frontages if the allotment has more than one road frontage.

Example only



Pinnacle Lots

The Design Committee recognise the Pinnacle Lots represent some of the most premium land at Gainsborough Greens. In order to ensure your investment meets its highest and best use, all lots indicated as Pinnacle Lots in Annexure A will need to incorporate at least one or more of the additional façade requirements outlined below:

- Front entry feature to pronounce the main entry to the dwelling. An entry feature may include but not limited to, raised portico, arbour, open pergola, extended pillars or blade wall.
- Inclusion of large articulated masonry piers or double post supports.
- A roof feature, for example but not limited to, Large Dutch Gable, dormer windows or a separate pitched roof line or gable feature to porch or balcony.
- A rendered plinth to the base of the wall to a minimum height of 340mm and up to 600mm above the floor level with weatherboard cladding above to at least 50% of the elevation.
- Incorporation of sandstone or approved cultured stone to an architectural element, such as feature wall, planter box etc.
- Three or more indentations or projections in the floor plan which are mirrored in the roof plan. The projection/indentation should be at least 450-600mm deep (excludes garages).
- Verandah or balcony which is a minimum 30% of the width of the façade (excluding garage) x 1.8m deep located parallel to the street.



BRIGHTON HOMES – JAXON FAÇADE



CLARENDON HOMES – HAMPTONS FAÇADE



METRICON HOMES – BAYVILLE



BOLD LIVING – SORRENTO

Landscaping

High quality landscaping softens the façade of your home and is essential to increasing the overall streetscape. A lush and well maintained streetscape will ensure that Gainsborough Greens has a consistent premium look and feel throughout the development.



LANDSCAPING (PLANTING)

All landscaping to areas of your lot visible from Public Areas must be approved by the Design Committee. You must submit a detailed landscape plan as part of your Covenant Approval.

- Landscaping should be designed and arranged to complement the architectural features of the home.
- Your landscaping design must incorporate a mix of trees, shrubs/hedging, groundcover and high quality turf.
- Planted garden beds must be provided to minimum of 60% of the available landscaping area on the Primary Street frontage.
- Garden beds should be planted with a combination of substantial plants including shrubs/hedging and ground cover that present highly at the time of planting.
- Your landscaping must include three advanced trees minimum 100L/1.8m trees at the time of planting, located on the Primary Street frontage. At least one of the three advanced trees is not a palm species.
- Garden beds should be edged with concrete, smooth face galvanised steel, masonry, hardwood but not round timber, logs or flexible plastic. Edging must be dug to be in line with turf level.
- Raised garden beds standing higher than 200mm are considered retaining walls and must be constructed from either stone, masonry, concrete or steel. Raised timber garden beds are not permitted.
- High quality mulch must be used with a minimum depth of 75mm.
- High quality turf must be used to the remainder of the soft landscaping area.
- Landscaping must be completed strictly within 3 months of the construction of your home.

LANDSCAPING (MATERIALS)

- Landscape materials should be robust, easily maintained and present well to the street so that the overall streetscape character is enhanced.
- Colours of the materials should complement the external colours and materials of your home.

Landscaping continued

OPEN SPACE LANDSCAPING

To provide an interface between public areas, golf course frontage and park frontage, lots must have a minimum 1m landscape buffer from the top of the retaining within the lot boundary. Planting in this landscape buffer should include hedges and shrubs in a mulched garden bed. A maximum of 50% turf may be used in this area.

- Access is not permitted (including golf buggies) directly to the park or golf course areas from open space lots.
- Good Neighbour Pine Fence (Type 1) must rake down to meet the rear Open Space Fencing (Type 4).

RETAINING WALLS

- A Retaining Wall is defined as any retaining structure higher than 200mm.
- All Retaining Walls must be constructed as part of the construction of your home.
- Retaining Walls visible from Public Areas must be constructed from either stone, masonry, concrete or steel. Refer to Example A, B and C.
- Treated pine is not permitted in any location visible from any Public Area. It may be used for inter-lot retaining, however must not be visible from any Public Area. Refer to Example D.
- Retaining Walls may need to be certified by a Registered Professional Engineer. You are required to meet the Local Authority's requirements with regard to this matter.
- Retaining Wall construction must include a suitable drainage system to deliver sub-surface water below the wall to the local storm water system.
- Retaining Walls visible from Public Areas must not exceed 1.5m in height without constructing a horizontal offset, including a minimum 1m planting zone between each section of the retaining wall in order to soften the visual impact.
- Retaining Walls constructed by Mirvac on any lots cannot be removed or altered without written permission from Mirvac. Any damage to these fences must be repaired to the original standard by the land owner(s).

Example A:

Painted rendered block wall. Colour must complement your house design.



Example B:

Coloured / textured sleeper block retainer.



Example C:

Charcoal coloured smooth-faced masonry block.



Example D:

Treated Pine Retaining Wall.



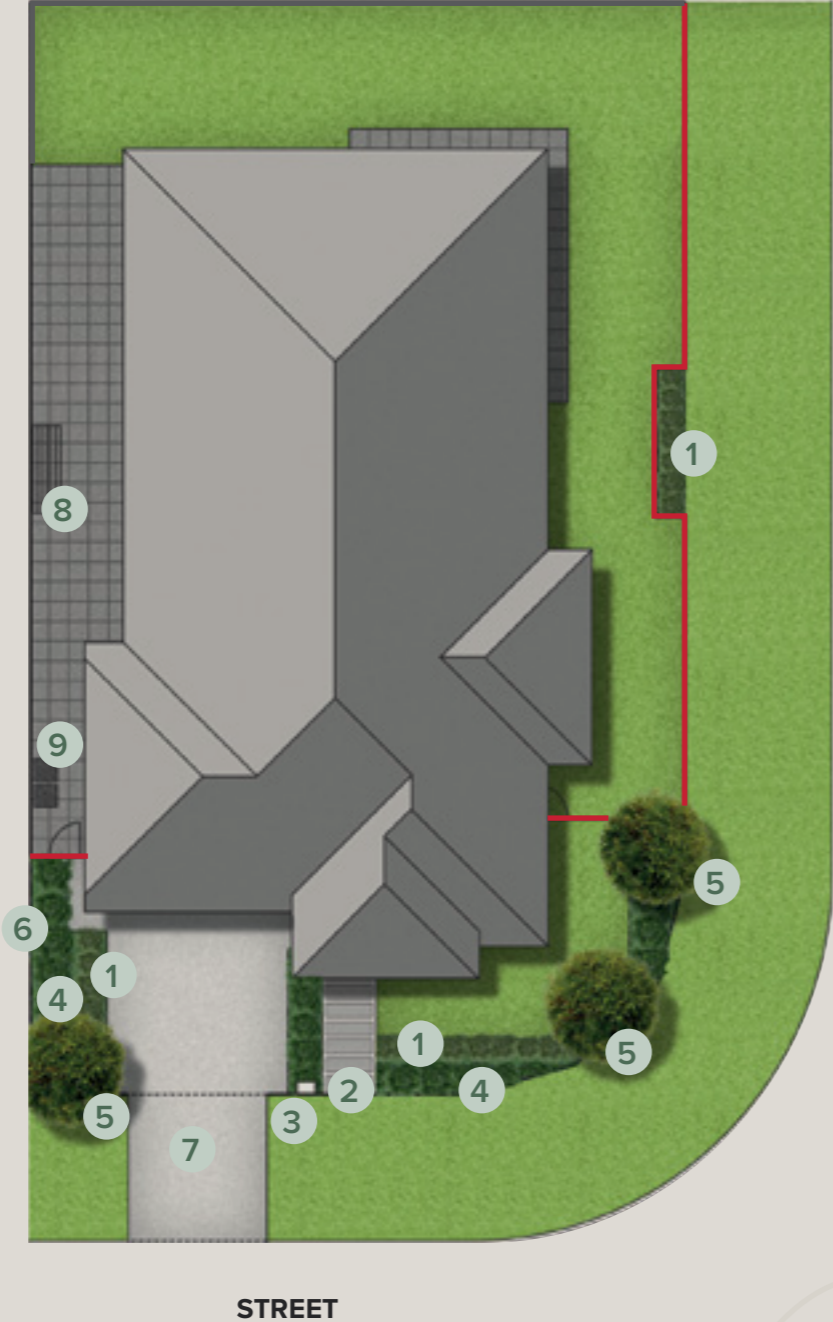
Landscape Design

Landscaping should be designed and arranged to complement the architectural features of the home. Your landscaping design must incorporate a mix of trees, shrubs/hedging, groundcover and high quality turf.

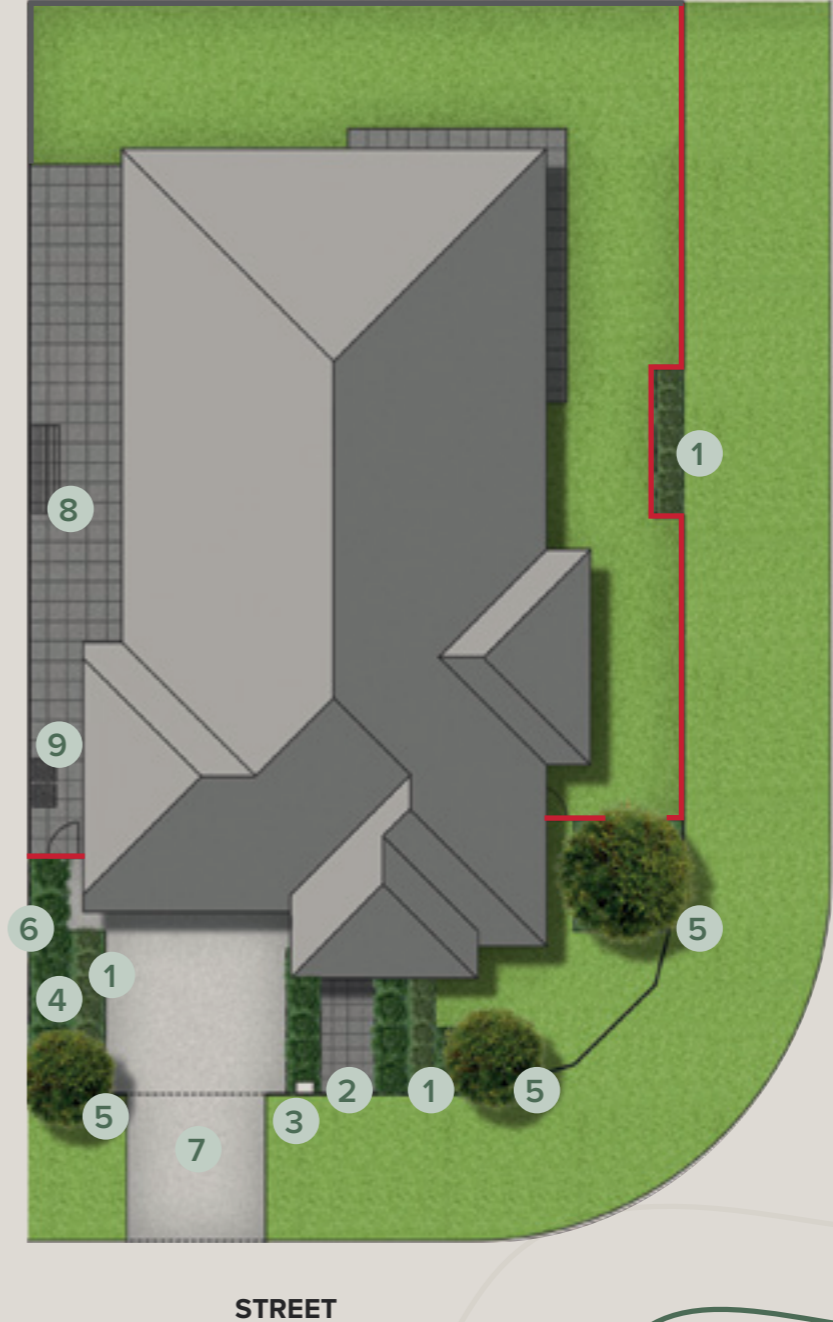
Legend

- 1. Shrubs and ground covers
 - 2. Entry path constructed from a permanent hard surface
 - 3. Information on letterbox style required for approval
 - 4. Hedging plants and groundcovers
 - 5. Advanced Tree
 - 6. Feature hardwood fence Type 2 or 3
 - 7. Driveway to GCCC standards
 - 8. Clothesline
 - 9. Concrete pads for rubbish bin storage
- Fence Type 1
 — Feature Hardwood
 ■ High Quality Turf

CORNER LOT
Example 1



CORNER LOT
Example 2



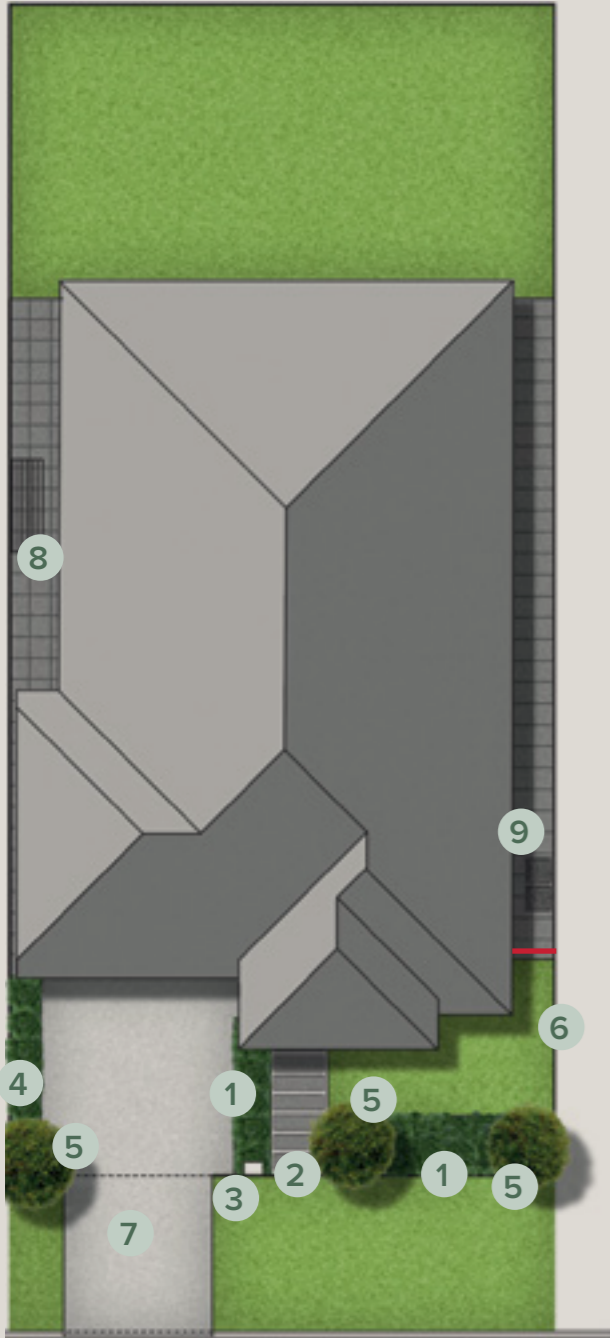
Landscape Design examples

Legend

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STANDARD LOT

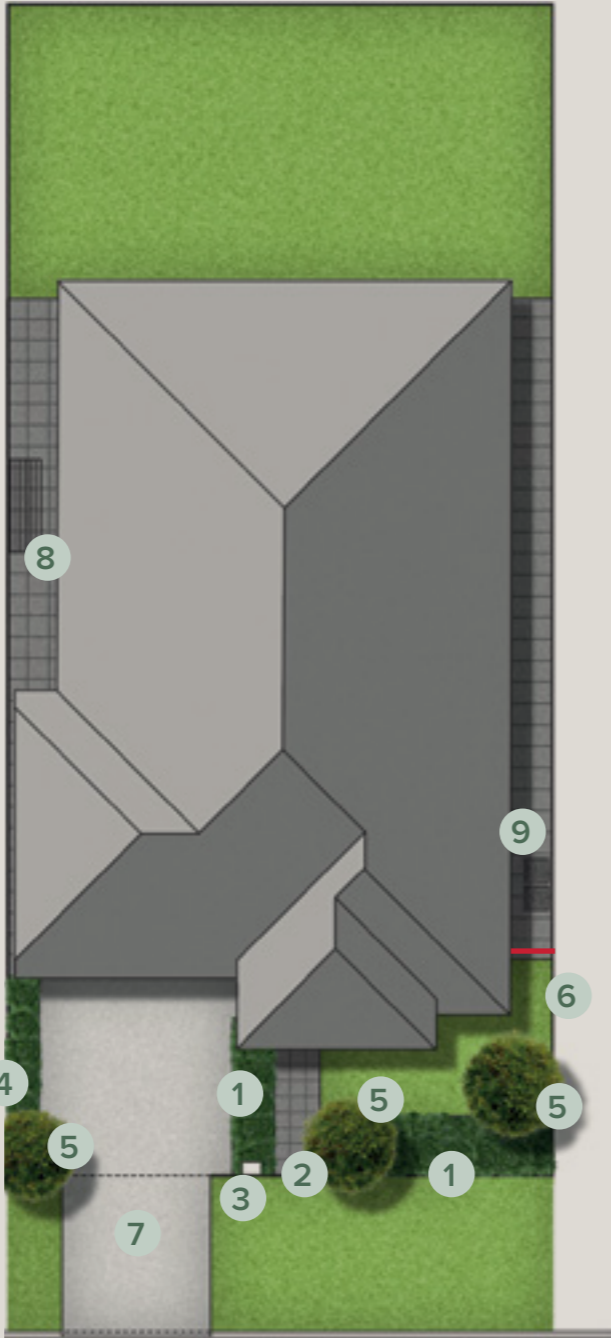
Example 1



STREET

STANDARD LOT

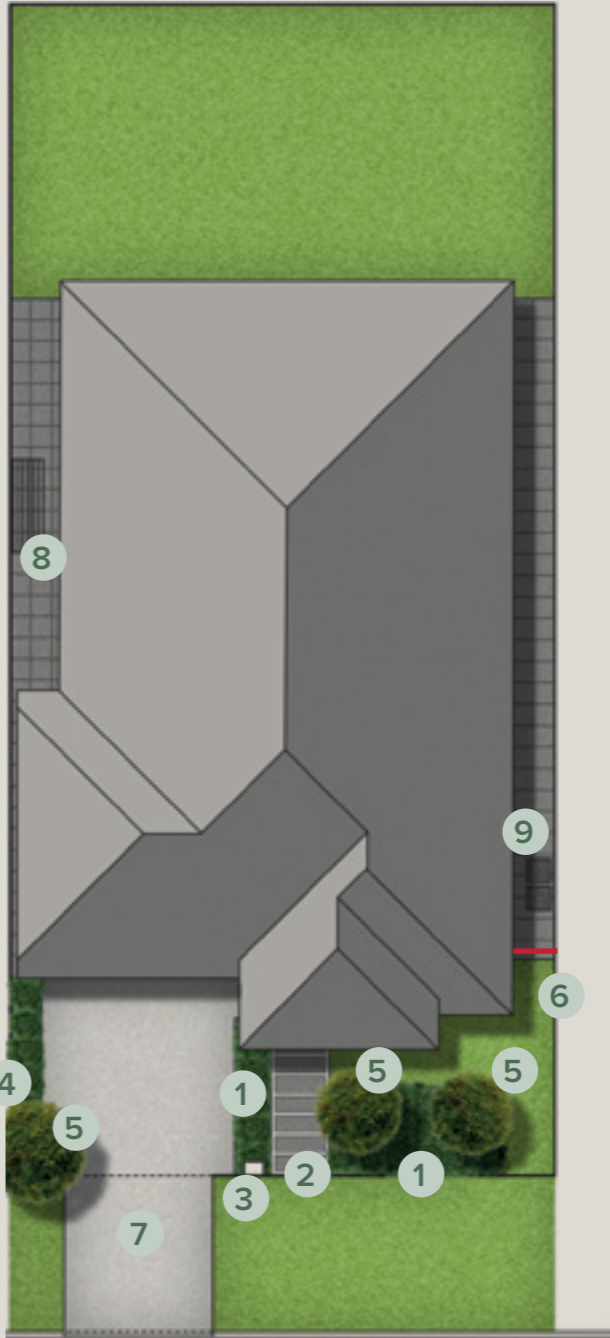
Example 2



STREET

STANDARD LOT

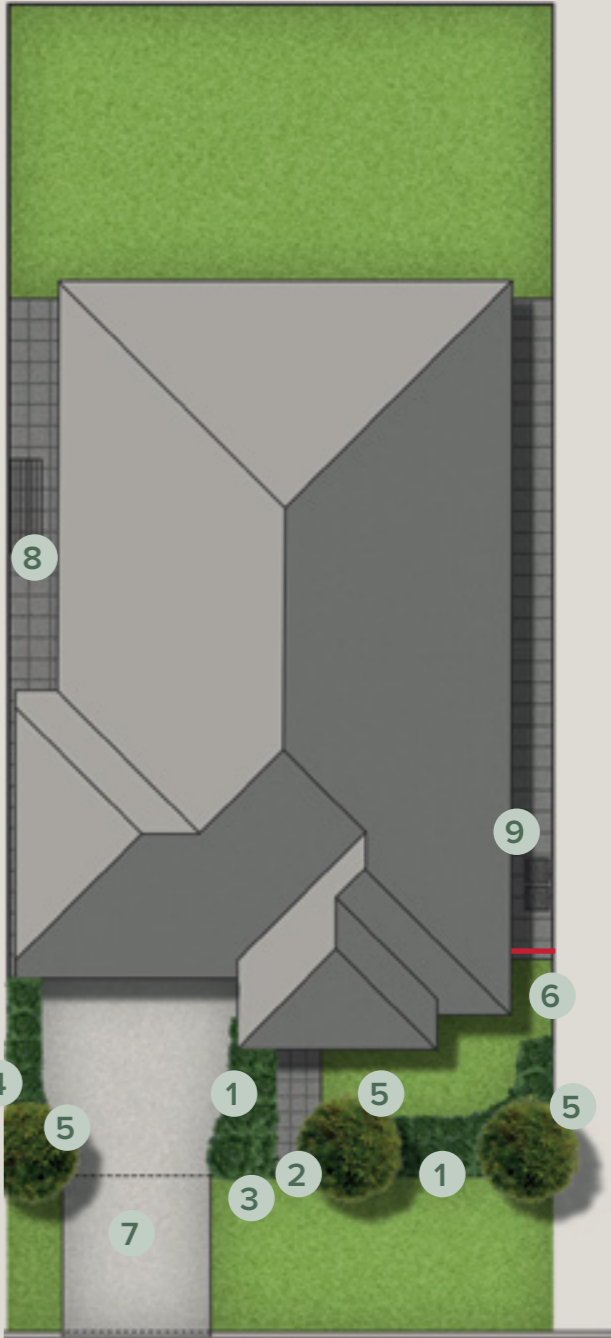
Example 3



STREET

STANDARD LOT

Example 4



STREET

Landscaping continued

SHEDS

- Sheds should not be visible from any public roads or Public Areas.
- Sheds must be painted to suit the colour scheme of the home.
- Reflective materials are not permitted on your shed.
- Sheds must be less than 12m².
- Sheds must be less than 2.1m in height.

LETTERBOXES

- Letterboxes are a repeating element in the streetscape. With consistent detailing and careful selection, your letterbox will help to visually link the individual homes on a street to provide a coherent street character.
- Letterboxes must be a modern aesthetic, constructed from rendered masonry or similar material. Elements of timber or metal will be permitted as a limited feature. Other styles may be approved on merit if they achieve a positive addition to your façade and overall presentation to the street.
- Please ensure details of your letterbox as outlined above are included within your Covenant Application. This will form part of your Covenant Approval.

Compliant letterboxes



Non-compliant letterboxes



Landscaping continued



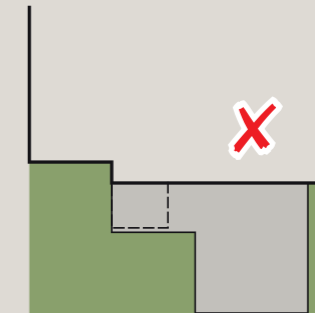
DRIVEWAYS & ENTRY PATHS

Well-thought-out driveway and entry path design is essential to increasing the overall aesthetic of your home and the general streetscape.

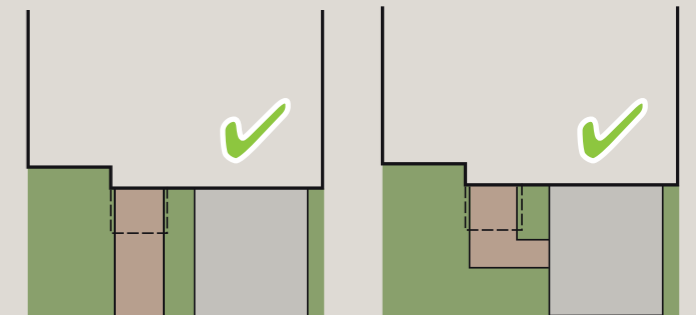
To ensure this is achieved the following guidelines must be followed:

- Only one driveway is permitted per lot.
- Acceptable materials include coloured concrete (not painted) or exposed aggregate concrete which must complement the external colour scheme of your home. This must be provided and approved as part of your Covenant Application.
- The main pedestrian entry path to your home must be constructed from a permanent hard surface, such as hardwood timber, stone, tiles, coloured concrete (not painted), exposed aggregate or pavers on a concrete base.
- Please see examples of pre-approved driveway and entry path designs.
- It is essential that your builder complies with Council's approval requirements for your driveway. If your driveway is not constructed correctly, Council may require you to remove it and reconstruct it.
- Minimum 3m separation from neighbouring driveway unless relaxation obtained from Gold Coast City Council.
- Maximum driveway gradients is 1:4 with grades steeper than 1:8 having appropriate transition zones.

Driveways and Entry Paths that are not supported



Driveways and Entry Paths that are supported



Legend

- Driveway
- Entry path (different material to driveway)
- Front yard
- ⋯ Portico roof over

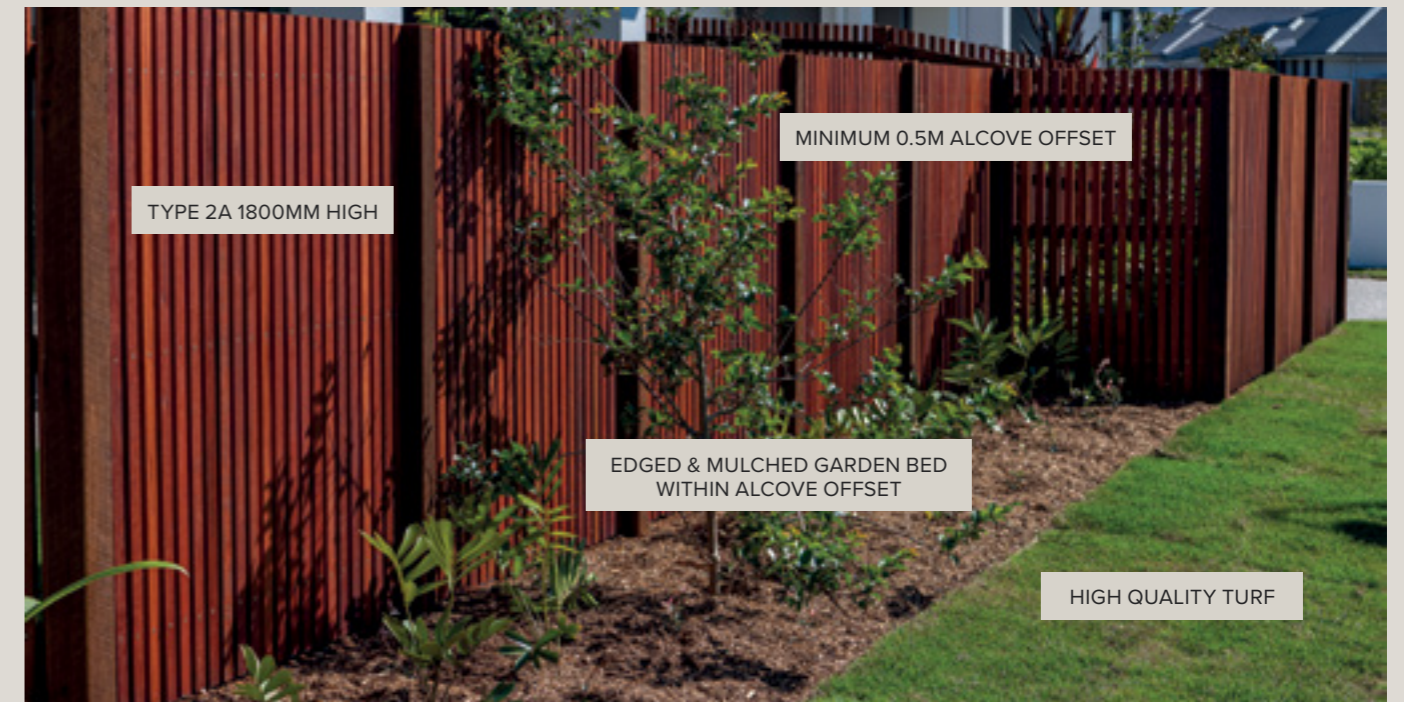
Fencing

Fencing accompanies landscaping in setting the tone of the Gainsborough Greens streetscape. Any fences that are visible from the street contribute towards the overall aesthetic of the development. Gainsborough Greens residents are required to choose a quality fence design that complements the innovative architecture of your home.

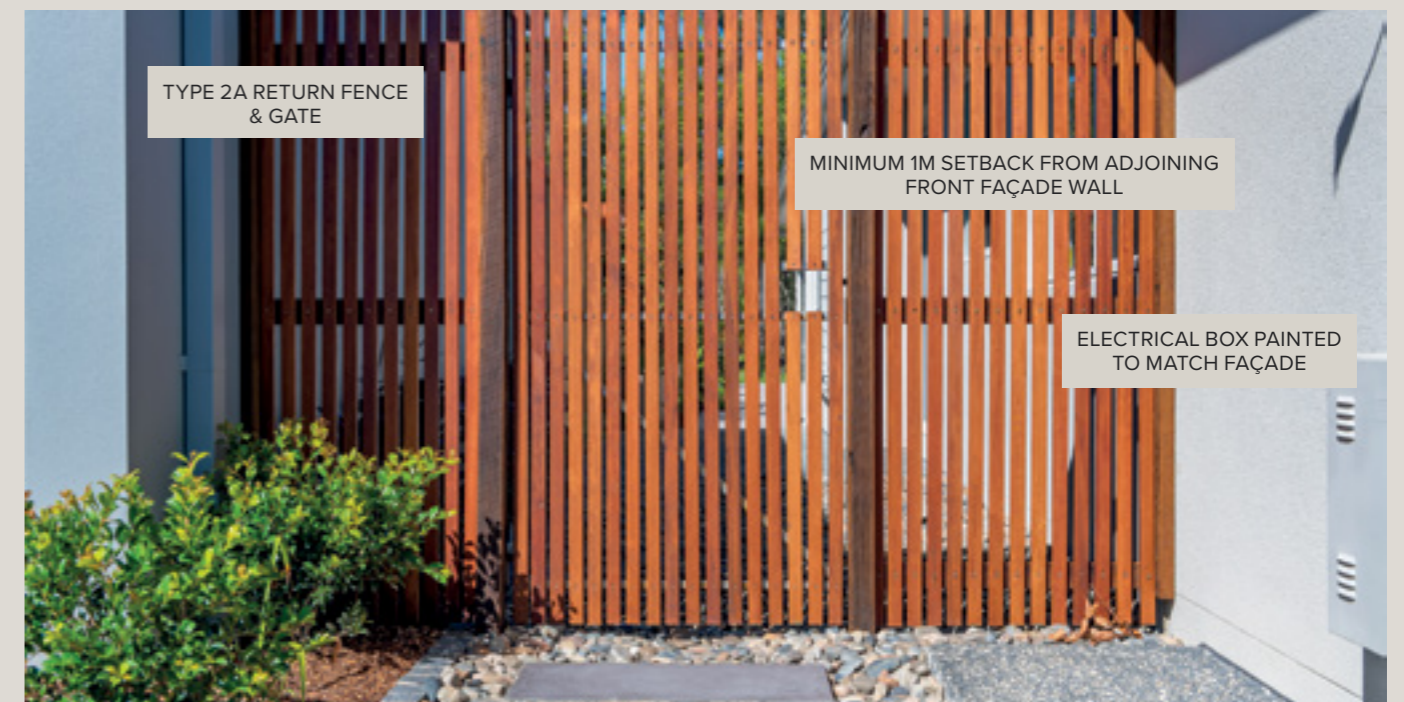
FENCES GENERAL

- Only approved fences of the types and materials shown in Fencing Types on pages 40–47 are permitted. No other materials such as COLORBOND® or bamboo are allowed.
- It is important that fencing takes into consideration public safety through passive surveillance. This can be achieved through ensuring that Public Areas such as streets and walkways can be overlooked from your house.
- Fences constructed by Mirvac on any lots cannot be removed or altered without written permission from Mirvac. Any damage to these fences must be repaired to the original standard by the land owner(s).
- Fences visible from Public Areas must be maintained on an ongoing basis in accordance with the recommended maintenance instructions provided by the timber treatment supplier.
- As per the Federal Government Koala Management Plan, all lots are required to have side and back fences and any dogs must be contained in a fully fenced yard.
- All fences to your lot must be approved by the Design Committee.

Corner lot fencing example



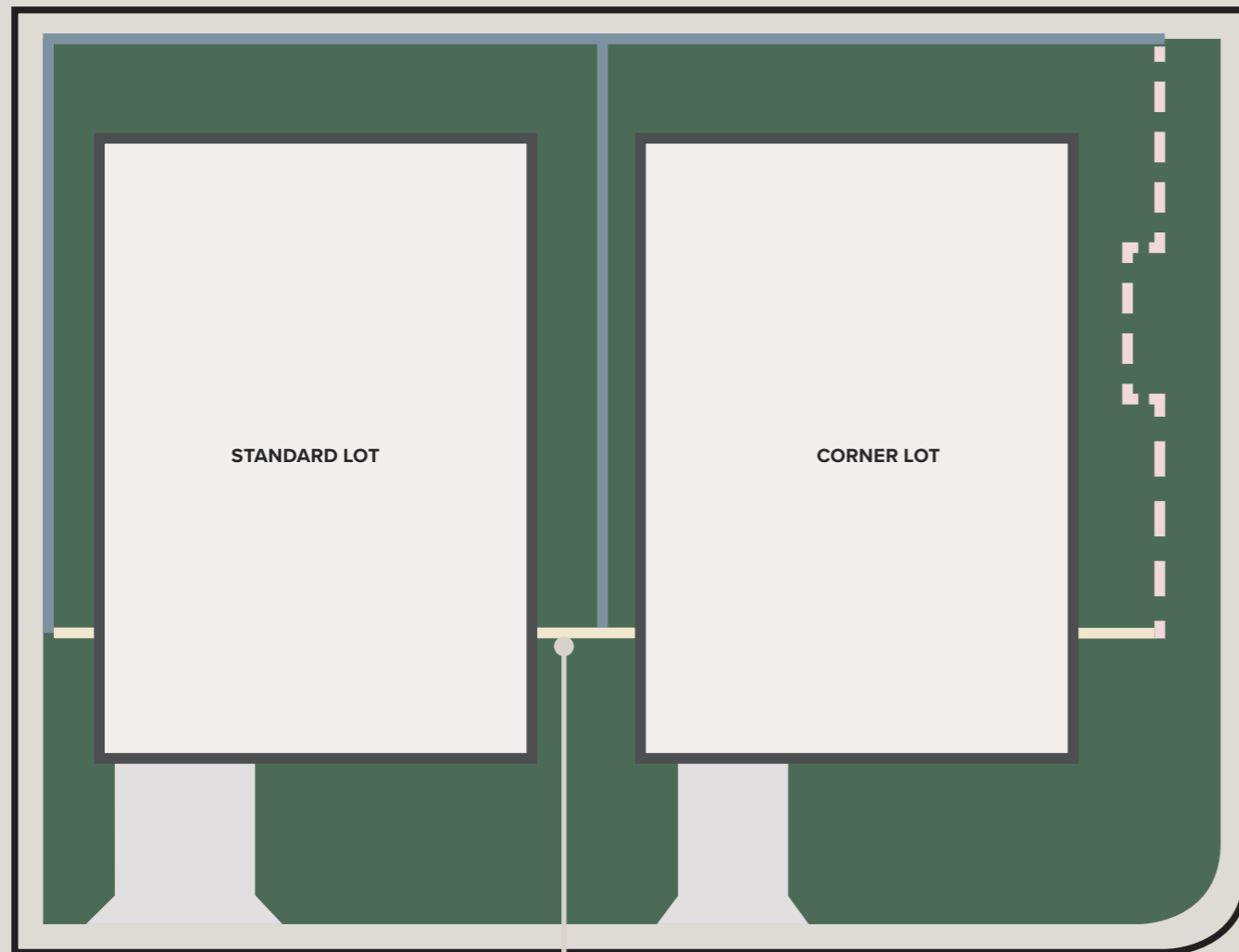
Public Facing fencing example



Fencing continued




FENCE LOCATION CONTEXT

The below diagram has been prepared to assist you in understanding the specified fencing locations on your block.



Important Tip

Ensure side fencing does not extend past side gates!
This will need to be rectified come final inspection.

-  Side and Rear Fencing
-  Return Fencing and/or Gates
-  Secondary Street / Pedestrian Pathway Fencing

FENCING LOCATIONS

Return fencing facing the Primary Street

Your return fence (side gates) facing the Primary Street must be in accordance with Fence Type 2.

- Must be in accordance with Fence Type 2A or 2B and a maximum of 1.8m in height.
- Must be located a minimum of 1m behind the adjoining front façade wall.
- This return fence should screen any Type 1 fence from the street.

Side and Rear Fencing

- Must be a good neighbour fence in accordance with Fence Type 1.
- Maximum 1.8m in height.
- Must not be visible from Public Areas.
- The good neighbour fence (Fence Type 1) must always remain behind the feature fence and strictly not be visible to the street.

Fencing facing the Secondary Street or pedestrian pathway

- Must be Fence Type 2A with a maximum of 1.8m in height.
- Must not extend past the front building alignment of the Primary Street frontage.
- Fences more than 10m in length must be offset to allow for planting alcove(s) by a minimum 0.5m over a minimum length of 3m. Appropriate landscaping must be included within this alcove area.

Fencing to Open Space Boundaries

- Must be Fence Type 4.
- Must be a maximum of 1.5m high.

Fencing Specifications

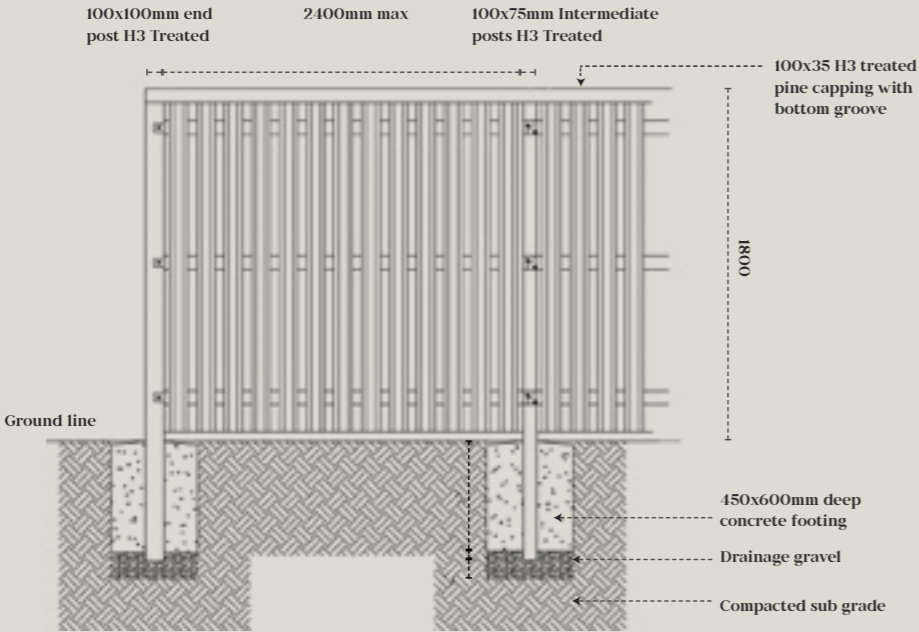
- Ensure you pass on the specifications to your chosen fence to your fencing contractor. Construction specifications prescribed on pages 40–47.

Fence Type 1: Good Neighbour Pine Fence

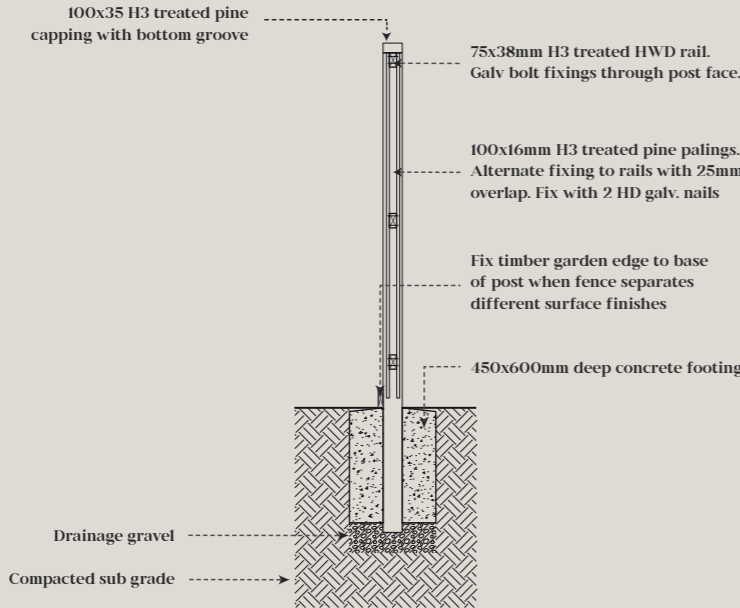
The good neighbour fence must only be built as the side and rear fence between you and your neighbours property. The neighbour fence must strictly remain behind your return (side gate) and must not be visible to the street.

GOOD NEIGHBOUR PINE FENCE

Fence Type 1 Front On



Fence Type 1 Side On

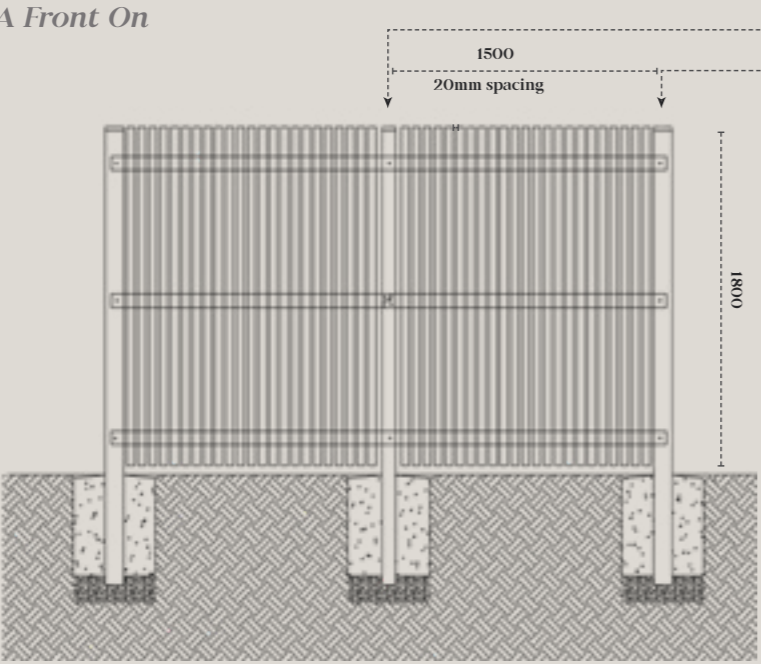


Fence Type 2A: Feature Fence

Feature fences act as a side gate or fencing that face both the Primary or Secondary Street, this fence should screen any good neighbour fence from public view.

DRESSED HARDWOOD VERTICAL BATTENS

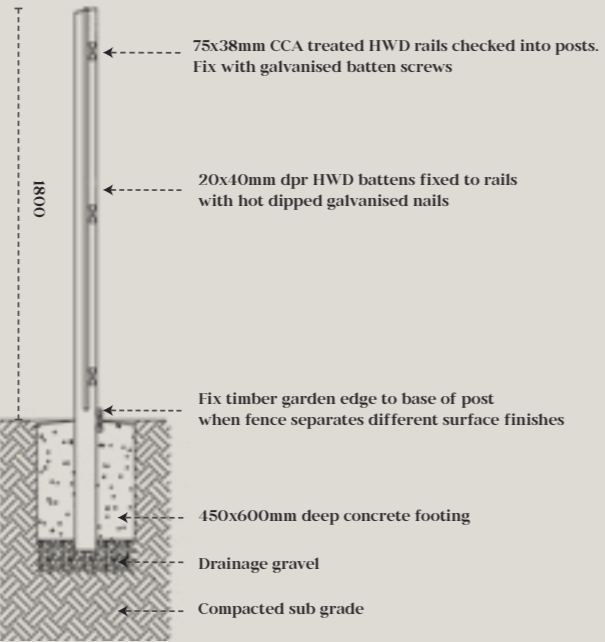
Fence Type 2A Front On



Int. posts 100x75
F14 H3 Treated
End posts 100x100
F14 H3 Treated

Note
Note all hardwood timber to be treated with untinted acrylic timber treatment e.g. Intergrain Ultradeck

Fence Type 2A Side On

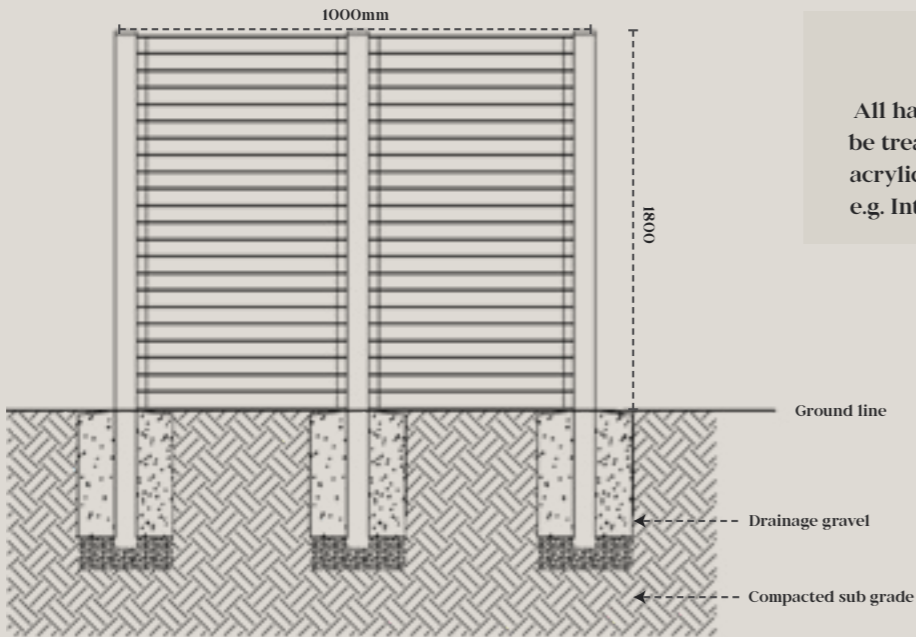


Fence Type 2B: Feature Fence

Feature fences act as a side gate or fencing that face both the Primary or Secondary Street, this fence should screen any good neighbour fence from public view.

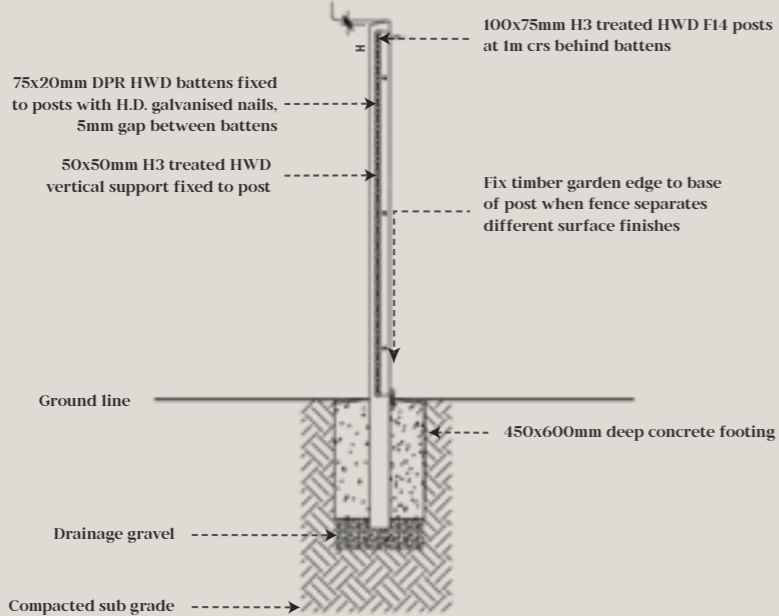
DRESSED HARDWOOD HORIZONTAL BATTENS

Fence Type 2B Front On



Note
All hardwood timber to be treated with untinted acrylic timber treatment e.g. Intergrain Ultradeck

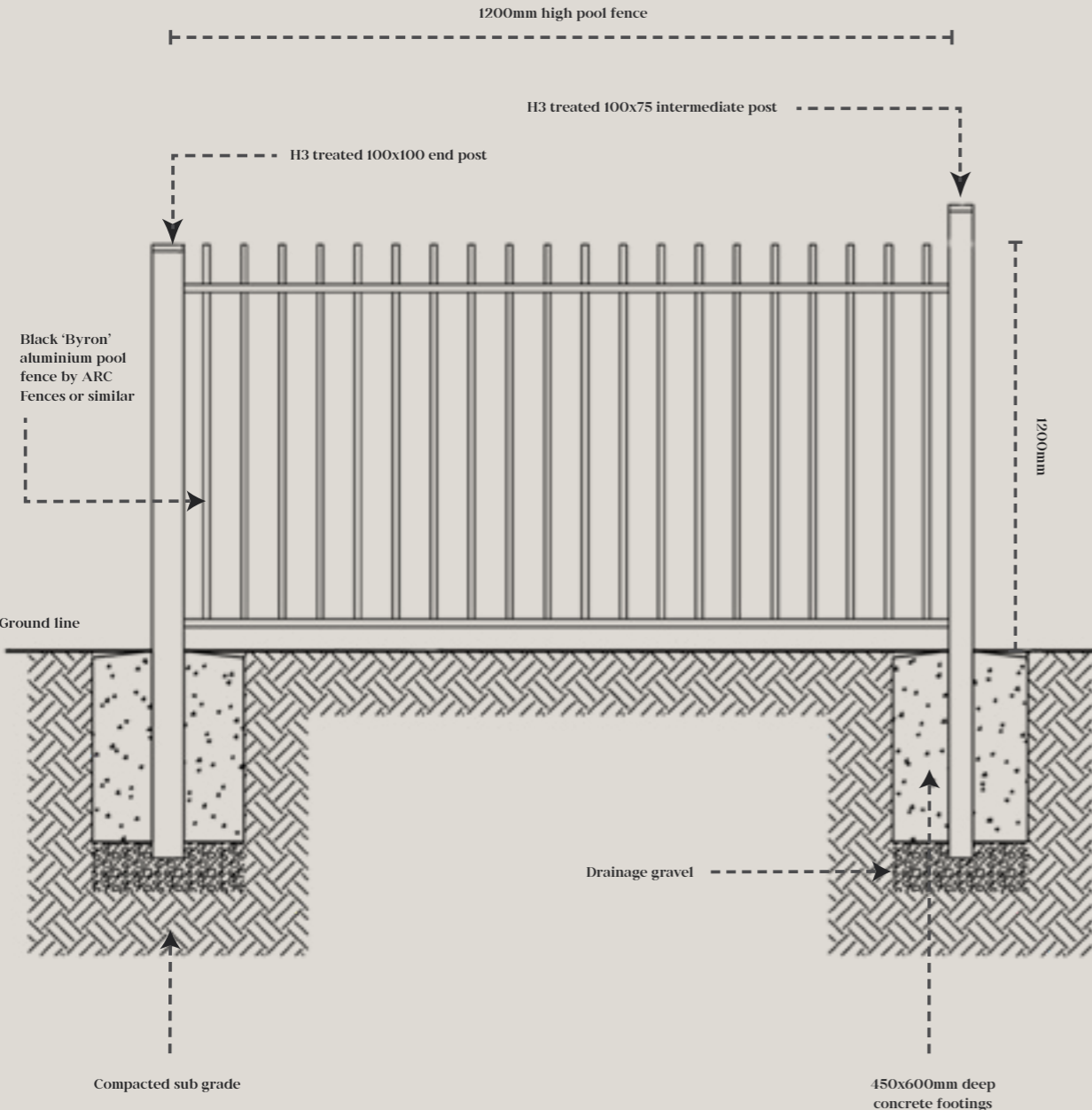
Fence Type 2B Side On



Fence Type 4: Open Space Fencing

POOL FENCING

Fence Type 4 Front On



Construction Obligations

- Your building site must be clean and safe at all times.
- To ensure that building waste does not pollute the golf course, open space and nearby wetlands, all loose rubbish must be secured at all times and all stockpiles and building waste materials must be located within sediment control barrier.
- You are responsible for maintaining your site prior to construction commencing – including mowing, slashing all grass and trimming all grass edges. Your grass must not exceed 150mm in height. Please note that sites that are yet to be constructed on must be grassed (i.e. you cannot leave your building pad stripped for long periods).
- Your builder must provide a skip bin or enclosure on site to contain rubbish for the duration of the construction period.
- Leaving rubbish on any lot visible from Public Areas is not permitted.
- Bins and site facilities should be clear of all neighbouring properties, roads, footpaths, reserves and all other Public Areas at all times.

BUILD TIMEFRAMES

We want The Grand Reserve to feel like home as soon as possible, we encourage you to commence building within 24 months of buying the lot.

Construction must be completed within 12 months of construction commencement.

Front yard landscaping, driveways and all approved fences must be constructed in accordance with these guidelines and be completed prior to occupation of the lot.

The remainder of the landscaping within the lot must be completed within 3 months occupation of a dwelling.

DEVELOPER WORKS

- The road and verge in front of your lot including the concrete footpath, kerb, street trees and services such as water meters, telecommunication boxes and electrical pillars are assets owned by Council or service authorities. These assets cannot be altered, including changing the ground levels, without the correct approval from Council. Mirvac and Council inspects these assets at completion of your home to ensure no damage or alteration has occurred.
- Please ensure you make your builder aware that they will need to rectify any damage to these assets as Mirvac is unable to return your Covenant Bond until we have received clearance to do so from Council.
- Where Mirvac has constructed a fence, entry statement or retaining wall, it is to be maintained by the owner to the standard to which it was constructed.
- Any damage caused during construction of a dwelling to any estate infrastructure (e.g. kerbs, grassed verges, street trees, bollards, etc.) is to be repaired by the owner to the standard to which it was constructed.



Sustainable Living Recommendations

Mirvac considers sustainability and innovation to be key components in delivering cohesive communities that are safe, encourage healthy and active lifestyles and result in lower household expenses.



BOLD LIVING – NEWPORT

Please note the following items are not mandatory and are intended to be used as a guide only.

ENERGY CONSUMPTION AND GREENHOUSE GAS-EMISSION REDUCTION

- Mirvac encourages all homes to achieve a 7 Star NATHERS rating. This may be achieved through incorporation of the following elements where necessary:
 - Maximising opportunities for cross ventilation and provide high level operable windows in multi-level homes to allow for heat removal.
 - Shading designed to restrict solar access to the living spaces in summer, whilst allowing beneficial solar access in winter.
 - Increased rating of the wall and ceiling insulation to the required specification.
 - Treated glazing or double glazing where necessary.
 - Draft sealing (weather seals on external doors etc.) where necessary.
 - Sealed exhaust fans where necessary.
- In addition to achieving a 6 Star rating on the building fabric, Mirvac encourage house designs to include the following energy saving features:
 - Gas boosted solar hot water or electric heat pump hot water systems.
 - Gas or induction cooktops.
 - LED light fittings throughout the home.
 - Exterior lighting fitted with motion sensors.
 - Low energy use appliances (aim for energy ratings greater than 4 star).
 - Energy efficient air-conditioning systems (aim for a COP greater than 3).
 - Standby 'Green Switch' or Smart Home automation to reduce energy whilst the home is unoccupied.
 - Solar photovoltaic electricity systems with battery storage.

Sustainable Living continued

WATER CONSERVATION AND REUSE

- To assist in achieving an overall reduction in household water usage, Mirvac recommends that homes incorporate the following measures:
 - Rainwater tanks for toilet flushing and irrigation.
 - Dishwasher and washing machines with a 4 Star or greater WELS rating.
 - Tapware and toilets with a 4 Star or greater WELS rating.
 - Showers with a 3 Star WELS rating.
 - Purchasers are encouraged to consider water efficient landscape design, soil mix, and plant selections, with a target of a minimum of 70% of planted species to be drought tolerant.

MATERIALS AND WASTE

- Maximise the use of standard sizes of materials wherever possible to minimise wastage.
- Mirvac recommends the use of low-impact construction materials:
 - For masonry consider low impact options, such as recycled or carbon neutral bricks.
 - For lightweight construction, consider the use of natural or innovative materials such as timber, structural insulated panels or Hebel for a reduced environmental impact and good thermal performance qualities.
- Internal Finishes:
 - Consider the use of flooring, joinery and plasterboard that is environmentally certified by independent certification schemes such as GECA, EcoSpecifier or the Carpet Institute of Australia.
 - Select high quality, durable finishes with long warranty periods.
- To reduce the airborne chemicals within your home consider the following products:
 - Engineered wood products, such as kitchen cabinetry and wardrobes, with low or zero formaldehyde (rated as E1 or E0).
 - Paints, adhesives and carpets rated to have low levels of volatile organic compounds (VOCs).

- To reduce waste to landfill during the operation of your home, consider:
 - Installing a dual bin in the kitchen joinery to make recycling as easy as disposing of general waste.
 - The use of a worm farm or composting bin to reduce food waste and provide fertiliser for your gardens.

LANDSCAPING

- The use of permeable surfaces is encouraged to maximise opportunities for natural infiltration and groundwater recharge.
- The use of waterwise plant species, waterwise irrigation and mulching of garden beds is encouraged to reduce water use.
- The planting of trees offering shade for the house and outdoor living areas and contributing to bird habitat is encouraged.
- The use of locally native plant species is encouraged to increase biodiversity.
- Consider the use of herbs, vegetables and fruit trees to create a productive garden. Please note this is to be located in areas not visible from Public Areas.

SMART TECHNOLOGY

- Smart monitoring:
 - Consider the use of smart meters to help track your energy consumption and reduce your bills even further.
 - Smart Home automation.
 - Consider the use of smart home automation to make your life easier and future proof your home.
- Systems available include:
 - Smart Security systems.
 - Smart intercom and access controls.
 - Smart controls of lighting, blinds, air conditioning and appliances.
 - Audio Visual systems.



Definitions

AS CONSTRUCTED SITE LEVEL	The existing level of your lot as constructed during the civil works completed by or on behalf of Mirvac.
BUILT TO BOUNDARY WALLS	Walls built closer than 1m from the Zero Lot Boundaries. These walls are to have no windows or other openings.
DESIGN COMMITTEE	The entity appointed by Mirvac authorised to approve building applications under these Residential Design Guidelines.
FAÇADE	Elevation of a building visible from a Public Area. The primary façade is the elevation facing the Primary Street.
LIVING AREAS	The internal part of your home excluding utility areas such as garage, laundry, bathroom, toilet, hallways and storage areas.
PERMITTED ENCROACHMENTS	Eaves, awnings, sun screens, privacy screens, architectural features such as gatehouses and pergolas where not enclosed and not more than 2.4m in height.
PRIMARY STREET	The street fronting your lot where the lot has only one street frontage; or for lots with two or more street frontages the street which your home's front door faces.
PRIVATE OPEN SPACE	External areas of your lot with an area and dimensions as required by this document with internal Living Areas opening onto them and not containing any service items such as bin store, air conditioning condensers or rainwater tanks, etc. It may be roofed or un-roofed.
PUBLIC AREA	Any land vested to, or under the control of the Gold Coast City Council (e.g. roads, verges /nature strips, parks, public access ways, etc.)
OPEN SPACE	For the purpose of this precinct, open space refers to both the Golf Course, vegetated and Park frontages.
SETBACK	Is the minimum distance the external walls of your home (or for garages the garage door) must be away from the adjacent boundary. All setbacks are measured from the relevant boundary to the outer edge of the wall. For lots with a bushfire setback buffer, the setback to the outermost projection to the buffer line is zero.
SITE COVERAGE	Is the gross floor area of your home including any ancillary areas/structures (e.g. alfresco, porch shed, etc.) contained under a fully impermeable roof divided by the total lot area. Open pergola structures are not included. Internal area is measured to the outside walls (or garage door for garages). Covered private open space is measured to the outer most projection of the roof structure.
SECONDARY STREET	Applies to lots with more than one street frontage and is the street(s) which is not the Primary Street.
ZERO LOT BOUNDARY	Common boundary of your lot and the neighbouring lot as shown in Annexure A which part of an external wall your home may be permitted to abut. Walls should be sufficiently clear of this boundary to allow for gutters and eaves overhangs. Generally a Zero Lot Boundary is located on either the southern or western property boundary. Not all lots have a Zero Lot Boundary and no lot can have more than one a Zero Lot Boundary.



THE GRAND RESERVE

Gainsborough Greens PIMPAMA

Annexure A Lot Plan

THE SECOND RELEASE

- 12m Street Frontage
- 14m Street Frontage
- 16m Street Frontage
- 18m+ Street Frontage
- Pinnacle Lots
- ⊖ Double Storey Home Required
- Acoustic Treatments Required
- ⋯ Zero Lot Line
- Retaining Wall
- Boulder Retaining Wall
- ◆ Electrical Transformer



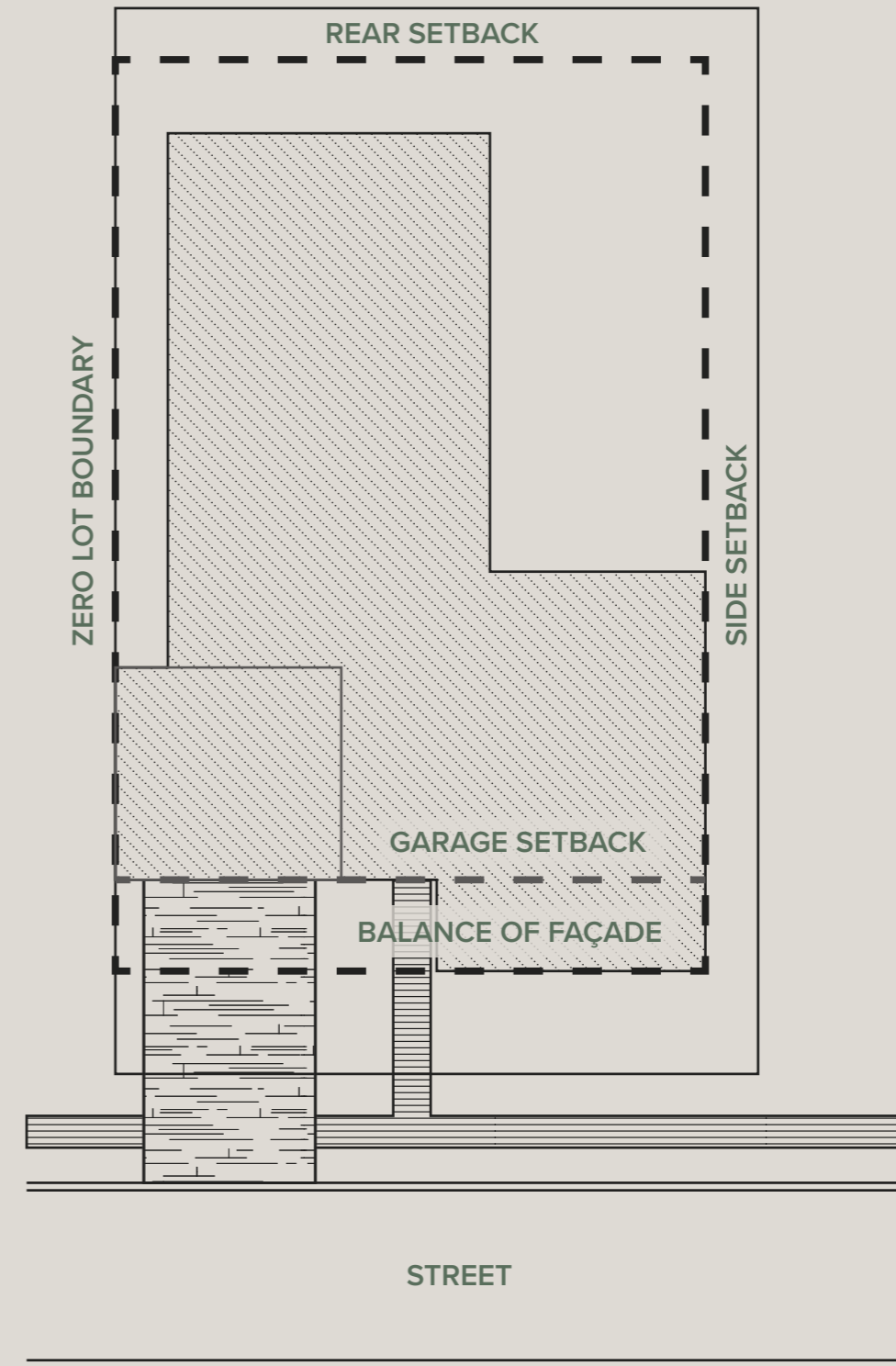
This lot layout plan is indicative only and not intended to be a true representation. Changes may be made during the development and are subject to change without notice. This site plan is believed to be correct at the time of construction but is not guaranteed. Prospective purchasers must rely on their own enquiries. Please refer to house plans and specifications as this lot layout plan is for guidance only. Refer to survey plans once lot titles are registered for full specifications. Current as at November 2020.

Annexure B

Setback Tables

SETBACKS

LOT TYPOLOGY CODE		BOUNDARY		GROUND FLOOR SETBACK (MIN)	FIRST FLOOR SETBACK (MIN)
<i>Standard</i>					
S	Standard	Front	Garage	5.5	N/A
			Balance of Façade	3	3
		Side	Built to Boundary	0	1
			Non-built to Boundary	1.5	2
Rear	Rear	1.5	2		
C	Corner	Front	Garage	5.5	N/A
			Balance of Façade	3	3
		Side	Built to Boundary (if applicable)	0	1
			Non-built to Boundary (if applicable)	1.5	2
			Secondary Road Frontage	3	3
		Rear	Rear	1.5	2
<i>Golf</i>					
PF	Park / Golf Front	Front	Garage	5.5	N/A
			Balance of Façade	3	3
		Side	Built to Boundary	0	1
			Non-built to Boundary	1.5	2
Rear	Rear	1.5	1.5		
	Bushfire Setback Buffer (if applicable)	0	0		
PFC	Park or Golf Front Corner	Front	Garage	5.5	N/A
			Balance of Façade	3	3
		Side	Built to Boundary (if applicable)	0	1
			Non-built to Boundary (if applicable)	1.5	2
			Secondary Road Frontage	3	3
		Rear	Rear	1.5	2
Bushfire Setback Buffer (if applicable)	0		0		
<i>Conservation</i>					
CF	Conservation Front	Front	Garage	5.5	N/A
			Balance of Façade	3	3
		Side	Built to Boundary	0	1
			Bushfire Setback Buffer (if applicable)	0	0
Rear	Rear	1.5	2		



*Maximum length of build to boundary wall is 9m without 3m long x minimum 1.5m recess. Note: Any lots identified on the Development Parameter Plans as having a bushfire buffer must not have any part of the building structure project into the identified bushfire buffer.

Annexure C

Lot Typologies

LOT NO.	LOT TYPOLOGY	ADDITIONAL FACADE REQUIREMENTS
1427	PF	Rear Open Space Façade Treatment
1428	PF	Rear Open Space Façade Treatment
1429	PF	Double Storey & Rear Open Space Façade Treatment
1430	PF	Rear Open Space Façade Treatment
1431	PF	Rear Open Space Façade Treatment
1432	PF	Rear Open Space Façade Treatment
1433	PF	Rear Open Space Façade Treatment
1434	PF	Min Double Storey Home & Rear Open Space Façade Treatment
1435	PF	Min Double Storey Home & Rear Open Space Façade Treatment
1436	PF	Min Double Storey Home & Rear Open Space Façade Treatment
1437	PF	Min Double Storey Home & Rear Open Space Façade Treatment
1438	PF	Min Double Storey Home & Rear Open Space Façade Treatment
1439	PF	Min Double Storey Home & Rear Open Space Façade Treatment
1440	PFC	Rear Open Space Façade Treatment
1441	PF	Pinnacle Lot Front Façade Treatment & Rear Open Space Façade Treatment
1442	PF	Pinnacle Lot Front Façade Treatment & Rear Open Space Façade Treatment
1443	PF	Pinnacle Lot Front Façade Treatment & Rear Open Space Façade Treatment
1444	PF	Pinnacle Lot Front Façade Treatment & Rear Open Space Façade Treatment
1445	PF	Pinnacle Lot Front Façade Treatment & Rear Open Space Façade Treatment
1446	PF	Pinnacle Lot Front Façade Treatment & Rear Open Space Façade Treatment
1447	PF	Pinnacle Lot Front Façade Treatment & Rear Open Space Façade Treatment
1448	PF	Pinnacle Lot Front Façade Treatment & Rear Open Space Façade Treatment
1449	PF	Pinnacle Lot Front Façade Treatment & Rear Open Space Façade Treatment

LOT NO.	LOT TYPOLOGY	ADDITIONAL FACADE REQUIREMENTS
1450	S	Min Double Storey Home
1451	C	Min Double Storey Home
1452	S	Min Double Storey Home
1453	S	Min Double Storey Home
1454	S	Min Double Storey Home
1455	S	Min Double Storey Home
1456	C	Min Double Storey Home
1457	C	Min Double Storey Home
1458	S	
1459	S	
1460	S	
1461	S	
1462	S	
1463	C	Min Double Storey Home
1464	C	Min Double Storey Home
1465	S	
1466	S	
1467	S	
1468	S	
1469	S	
1470	C	Min Double Storey Home
1471	S	
1472	S	
1473	S	
1474	C	
1475	S	
1476	S	
1477	S	
1478	S	
1479	S	
1480	C	
1481	C	
1482	S	

LOT NO.	LOT TYPOLOGY	ADDITIONAL FACADE REQUIREMENTS
1483	S	
1484	S	
1485	S	
1486	S	
1487	C	Min Double Storey Home
1488	S	
1489	S	
1490	S	
1491	C	
1492	S	
1493	S	
1494	S	
1495	S	
1496	S	
1497	C	Min Double Storey Home
1498	PF	Rear Open Space Façade Treatment
1499	PF	Rear Open Space Façade Treatment
1500	PF	Rear Open Space Façade Treatment
1501	PF	Rear Open Space Façade Treatment
1502	PF	Rear Open Space Façade Treatment
1503	PF	Rear Open Space Façade Treatment
1504	PF	Rear Open Space Façade Treatment
1505	PF	Rear Open Space Façade Treatment
1506	PF	Rear Open Space Façade Treatment
1507	CF	
1508	CF	
1509	CF	
1510	CF	
1511	CF	
1512	S	
1513	S	
1514	S	
1515	S	

LOT NO.	LOT TYPOLOGY	ADDITIONAL FACADE REQUIREMENTS
1516	S	
1517	S	
1518	S	
1519	S	
1520	S	Acoustic Treatment
1521	S	Acoustic Treatment
1522	C	Acoustic Treatment
1523	C	Double Storey
1524	S	Double Storey
1525	S	Double Storey
1526	C	Double Storey

Covenant Application Form

Please detach this form and complete details:

Lot Number: _____

Street Address: _____

Plans submitted for preliminary approval? (Please circle) YES / NO

Date of Submission: _____

Owner's Details:

Name: _____

Address: _____

Contact No: _____

Home No: _____

Mobile: _____

Fax: _____

Email: _____

Builder's Details:

Company: _____

Contact Name: _____

Address: _____

Contact No: _____

Business No: _____

Fax: _____

Email: _____

Checklist:

Are the following attached to your application? YES / NO

- Site plan – including any site features, all boundary setbacks, existing and final contours and north point (min. 1:200 scale)
- All floor plans – including dimensions of building setbacks plus area schedules (1:100 scale)
- Elevations with external colour schedule and material selections indicated (1:100 scale)
- External colour schedule and material selections
- Location of services such as water tanks, rubbish bins, air-conditioning units, clotheslines, etc.
- Landscape plan including any retaining walls
- Fencing details and location
- Covenant bond to be fully refunded upon completion of the home and landscaping, and final inspection by the Design Committee.

I/we the owners/builder of Lot _____ at Gainsborough Greens, Pimpama acknowledge that I/we have read and accept The Grand Reserve Design Guidelines requirements.

Signature 1: _____ Date: _____

Signature 2: _____ Date: _____

VISIT THE SALES CENTRE
Open daily 10am – 5pm
M1 Exit 49, 8 Swan Road, Pimpama QLD 4209
gainsboroughgreens.com.au
07 5549 2322

Gainsborough
Greens PIMPAMA



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The masterplan was prepared prior to construction and is indicative only and not intended to be a true representation. Changes may be made to all aspects of the development (including, without limitation, to the layout, composition, streetscape, dimensions, specifications, fittings and finishings) during the development without notice. The masterplan is believed to be correct as at November 2020, but is not guaranteed. Prospective purchasers must rely on their own enquiries. Please refer to individual plans and specifications, as the masterplan is for guidance only.